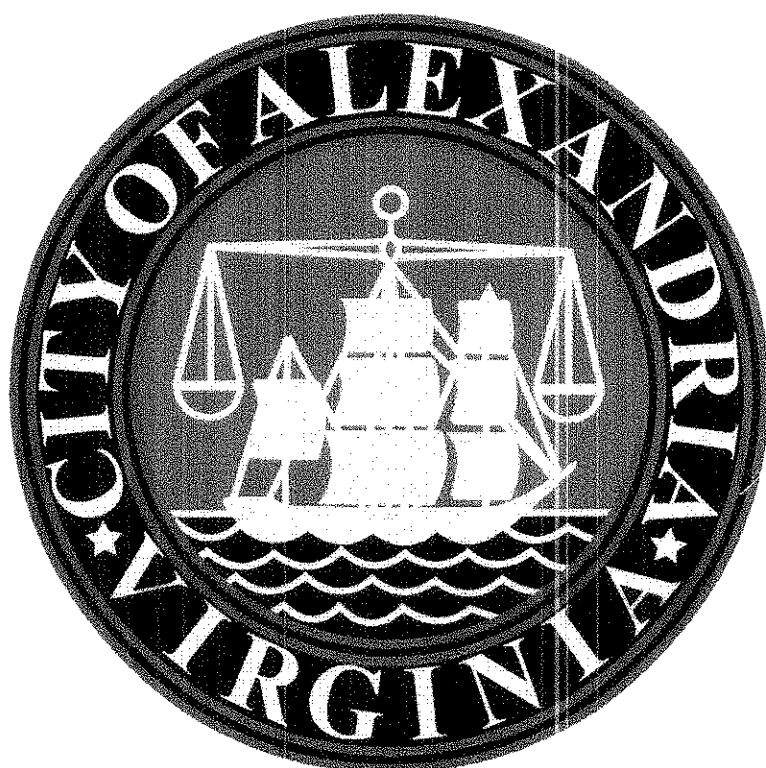
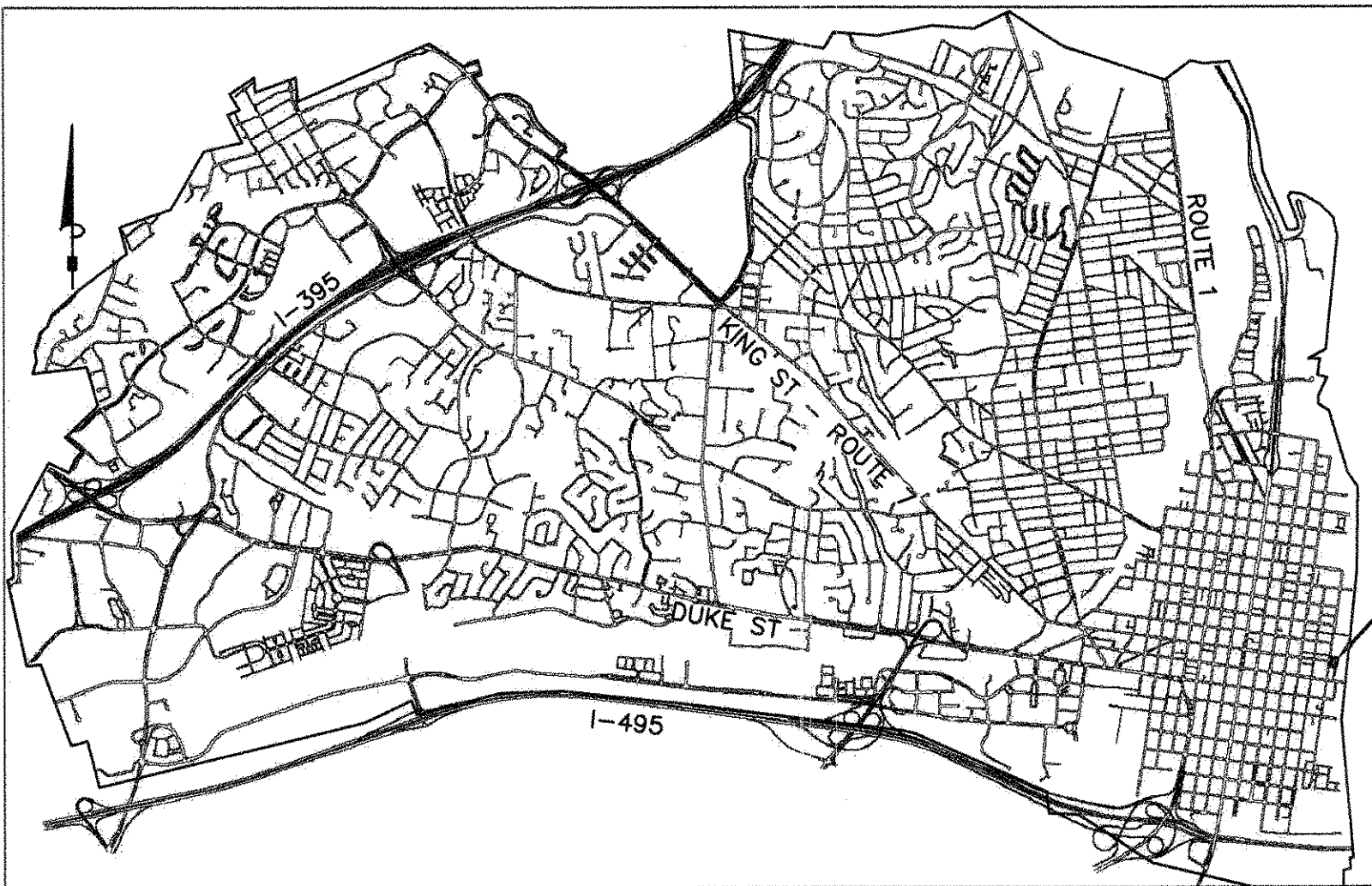


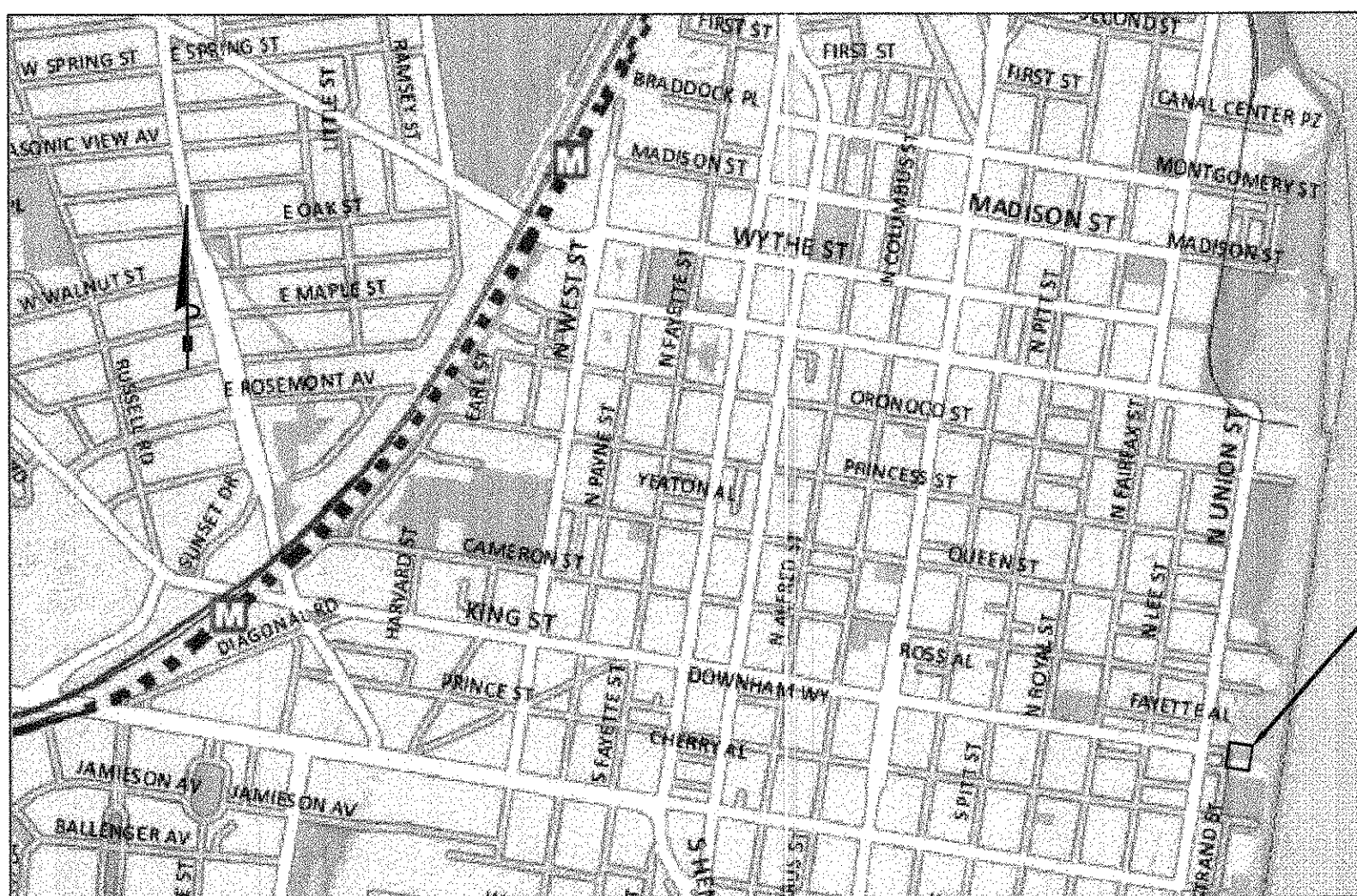
CITY OF ALEXANDRIA, VIRGINIA



DEVELOPMENT SITE PLAN#2016-00035  
INTERIM FITZGERALD SQUARE



VICINITY MAP



PROJECT AREA MAP

OWNER INFO:

ATTN: DEPARTMENT OF PROJECT IMPLEMENTATION  
CITY OF ALEXANDRIA  
301 KING STREET, SUITE 3200  
ALEXANDRIA, VA 22314

SPECIAL USE PERMITS:

- 1) OUTDOOR FOOD AND CRAFT MARKETS  
2) COMMERCIAL OUTDOOR RECREATION FACILITIES (AMUSEMENT ENTERPRISE)  
3) PARKING REDUCTION REQUEST - REFER TO TABULATION ON THIS SHEET AND SUPPLEMENTAL REDUCTION REQUEST FORM.

ZONING TABULATION:

ZONING:  
WATERFRONT PARK AND RECREATION (WPR)

EXISTING USES ON SITE:

KING STREET PARK, OLD DOMINION BOAT CLUB (ODBC) BUILDING, PARKING, AND BOAT STORAGE LOT

PROPOSED USES ON SITE:

PUBLIC PARK WITH RIVERFRONT PROMENADE, SEATING AND DINING AREAS, LAWN AND PLANTINGS, AND PLAZA FOR EVENTS.

ZONING / AREA TABULATIONS (NO CHANGE FROM PRELIMINARY):

2 KING ST PARCEL: 23,892 SF (0.548 ACRES)  
1 KING ST PARCEL: 20,179 SF (0.463 ACRES)  
TOTAL SITE AREA (INCL. ROW AND POTOMAC RIVER): 60,949 SF (1.40 ACRES)  
LIMIT OF WORK: 45,285 SF (1.04 ACRES)  
LIMIT OF DISTURBANCE: 41,635 SF (0.96 ACRES)  
SPECIAL USE AREA 1: 12,865 SF (0.295 ACRES)  
SPECIAL USE AREA 2: 6,152 SF (0.141 ACRES)  
ACCESSORY USE AREA 2: 3,932 SF (0.09 ACRES)

REFINED TABULATIONS OF LOT AREAS (NO CHANGE FROM PRELIMINARY):

100% OPEN SPACE = 41,069 SF (0.94 ACRES) - INCLUDES ROW AREA  
SHADE STRUCTURE CONSIDERED BUILDING FOR FAR.

LOT FRONTAGE (NO CHANGE FROM PRELIMINARY):

STRAND STREET: 115.6 FT  
KING STREET: 66.5 FT

SHADE CANOPY TABULATIONS:

FAR - CANOPY AREA TO LOT AREA: 1,416 / 39,646 = 0.036 FAR  
FAR - CANOPY AREA TO LOD AREA: 1,416 / 45,287 = 0.031 FAR  
STRUCTURE HEIGHT - 14' MAXIMUM HEIGHT, 11' CLEAR ABOVE GRADE  
AVERAGE FINISHED GRADE OF SHADE STRUCTURE: 5.11'

YARDS AND SETBACKS (DOES NOT APPLY DUE TO ALLOWABLE CITY USE OF ROW):

FRONT BUILDING LINE SET BACK NOT LESS THAN 20' FROM FRONT LOT LINE  
SIDE AND REAR YARDS - 12'

EXISTING SITE CONDITIONS:

MARINE CLAY:  
SOIL COMPOSITION AND OTHER SUBSURFACE CONDITIONS ARE UNKNOWN AT THIS TIME.

SITE CONTAMINANTS:

ANY SOIL CONTAMINANTS ARE UNKNOWN AT THIS TIME.

ENVIRONMENTAL:

SITE IS OUTSIDE THE COMBINED SEWER AREA OF ALEXANDRIA. SEE ADDITIONAL NOTES ON GENERAL NOTES PAGE FOR ENVIRONMENTAL SITE ASSESSMENT.

APPLICABLE DESIGN GUIDELINES:

ALEXANDRIA HISTORIC DISTRICT DESIGN GUIDELINES  
ALEXANDRIA LANDSCAPE GUIDELINES  
WATERFRONT COMMON ELEMENTS DESIGN GUIDELINES  
PARKS AND RECREATION FACILITIES DESIGN GUIDELINES  
KING STREET OUTDOOR DINING STANDARDS AND DESIGN GUIDELINES

PROJECT NAMING PROCESS:

"INTERIM FITZGERALD SQUARE" IS A WORKING TITLE, THE OFFICIAL NAME WILL BE DETERMINED BY A SEPARATE CITY PROCESS.

PROJECT DESCRIPTION:

THE PROJECT SITE IS LOCATED AT THE EASTERN TERMINUS OF KING STREET AND WILL INCLUDE MULTIPLE PARCELS. THESE INCLUDE 1 KING STREET (PARCEL # 075.01-04-05), 2 KING STREET (PARCEL # 075.01-05-04), THE EXTENSION OF KING STREET ROW IN KING STREET PARK, AND THE EXTENSION OF WALES ALLEY ROW. THE COMBINED SITE AREA IS APPROXIMATELY ONE ACRE.  
1 KING STREET IS CURRENTLY OCCUPIED BY THE OLD DOMINION BOAT CLUB (ODBC) BUILDING AND 2 KING STREET IS CURRENTLY OCCUPIED BY THE ODBC PARKING AND BOAT STORAGE LOT.

ALL PARCELS ARE ZONED WATERFRONT PARK AND RECREATION (WPR).

THE PROPOSED DEVELOPMENT, KNOWN AS INTERIM FITZGERALD SQUARE, WILL CREATE A TEMPORARY CITY PARK FOLLOWING THE MOVE OF THE ODBC CLUBHOUSE AND PARKING LOT FUNCTIONS TO A NEW WATERFRONT LOCATION SOUTH OF THIS SITE. THE CURRENT ODBC DOCKS WILL REMAIN AND ACCESS WILL BE CONTROLLED AND RETAINED FOR THE ODBC. THE INTERIM PARK WILL REMAIN IN PLACE UNTIL THE FINAL FITZGERALD SQUARE CONDITION WILL BE CONSTRUCTED IN THIS LOCATION.

INTERIM FITZGERALD SQUARE WILL CREATE A NEW PUBLIC PARK AND AMENITY SPACE ALONG THE POTOMAC RIVER. THE PARK IS DIVIDED INTO SEVERAL PROGRAMMATIC AREAS. TO THE NORTH, ON THE SITE OF THE DEMOLISHED ODBC BUILDING, WILL BE A MARINA TERRACE WITH SHADE STRUCTURE FOR SITTING AND DINING. IN THE CENTER WILL BE A LAWN SURROUNDED BY SEATING AREAS. TO THE SOUTH WILL BE A FLEXIBLE EVENT SPACE THAT UTILIZES THE OLD ODBC PARKING LOT SHALL BE RE-SURFACED TO CREATE A PUBLIC PLAZA WITH MOVEABLE PLANTERS AND SEATING. ALONG THE WATER WILL BE AN UPPER AND LOWER RIVER TERRACE FOR SITTING AND RELAXING WITH SEVERAL TREES IN PLANTERS FOR SHADE AND AN IMPROVED VEGETATIVE BUFFER. ALL AREAS ARE LINKED BY A RIVERFRONT PROMENADE THAT CONNECTS THE PROJECT TO THE TORPEDO FACTORY TO THE NORTH AND WATERFRONT PARK TO THE SOUTH. ALTHOUGH SPECIAL EVENTS ARE NOT THE FOCUS OF THE INTERIM PARK DESIGN, EACH OF THE PROGRAMMATIC AREAS IS DESIGNED FOR FLEXIBILITY TO ACCOMMODATE OCCASIONAL SEASONAL EVENTS.

COMPLETE STREETS POLICY TABLE		PRELIM	FINAL
CROSSWALKS (NUMBER - TOTAL)		1	1
STANDARD		1	1
HIGH VISIBILITY		-	-
CURB RAMPS		1	2
SIDEWALKS (LF)		1669	1669
BICYCLE PARKING (NUMBER SPACES - TOTAL)		8	12
PUBLIC/MSITOR		8	12
PRIVATE/GARAGE		-	-
BICYCLE PATHS (LF)		-	-
PEDESTRIAN SIGNALS		-	-

ZONING OPEN SPACE TABULATION (WPR ZONE):		AREA (SF)	% OF SITE
TOTAL SITE AREA		41,069	-
25% OPEN SPACE REQUIREMENT		10,267	25%
OPEN SPACE PROVIDED (ALL GROUND LEVEL)		41,069	100%

EXISTING CANOPY COVERAGE - (SQUARE FEET)				
QTY (EA)	TYPE	CCA*	TOTAL CCA (SF) - FINAL	TOTAL CCA (SF) - PRELIM.
5	LARGE SHADE TREE	1250	6,250	6,250
1	SMALL ORNAMENTAL	250	250	250
TOTAL			6,500	6,500

CANOPY COVERAGE PROPOSED - (SQUARE FEET)				
QTY (EA)	TYPE	CCA*	TOTAL CCA (SF) - FINAL	TOTAL CCA (SF) - PRELIM.
5	MEDIUM SHADE TREE	750	3,750	3,750
TOTAL			3,750	3,750

CANOPY COVERAGE REQUIREMENT		
SITE AREA (SF)	% REQUIRED	CANOPY TARGET (SF)
41,635	25%	10,409

NOTE: CANOPY COVERAGE TARGET NOT INTENDED TO BE MET PER THE COUNCIL APPROVED PLAN.

VEHICLE PARKING SPACE COMPUTATION	2 KING ST	1 KING ST	KING ROW	WALES ROW	TOTAL
TOTAL LOT AREA (SF)	23,892	20,179	8,857	7,545	60,473
LOT AREA IN POTOMAC RIVER (BELOW +3 ELEV)	8,661	11,469	0	697	20,827
LESS POTOMAC RIVER LOT AREA	15,231	8,710	8,857	6,848	39,646
PARKING SPACE REQUIREMENT (1 space per 400 SF)	38	22	22	17	99
SPACES PROVIDED* - PRELIMINARY:	0	0	0	0	0
SPACES PROVIDED* - FINAL:	0	0	0	0	0

\*REFER TO SUP REDUCTION REQUEST FORM

SHEET INDEX

SHEET NO.	SHEET NAME
1	COVER SHEET
2	DEVELOPMENT CONDITIONS 1
3	DEVELOPMENT CONDITIONS 2
4	DEVELOPMENT CONDITIONS 3
5	DEVELOPMENT CONDITIONS 4
6	GENERAL NOTES
7	CONTEXT PLAN
8	EXISTING CONDITIONS
9	EROSION AND SEDIMENT CONTROL NOTES AND DETAILS
10	EROSION AND SEDIMENT CONTROL PLAN
11	DEMOLITION PLAN
12	SITE PLAN
13	GRADING PLAN
14	LANDSCAPE AND MATERIALS PLAN
15	CIRCULATION PLAN
16	STORMWATER MANAGEMENT PLAN
17	WATER QUALITY IMPACT ASSESSMENT
18	DETAILS - 1
19	DETAILS - 2
20	DETAILS - 3
21	DETAILS - 4
22	DETAILS - 5
23	DETAILS - 6
24	DETAILS - 7
25	OPTION 1 - PROMENADE LIGHTING PLAN
26	OPTION 1 AND STREET LIGHT PHOTOMETRIC PLAN
27	OPTION 2 - LANDSCAPE IRRIGATION PLAN
28	OPTION 3 - SITE FURNISHING PLAN
29	OPTION 4 - SHADE CANOPY PLAN
30	OPTION 4 - SHADE CANOPY ELEVATIONS
31	OPTION 4 - SHADE CANOPY DETAILS

Released  
3-5-18  
Jmt

DEPARTMENT OF RECREATION, PARKS AND CULTURAL ACTIVITIES

APPROVED

X *[Signature]* DATE: 3/5/18  
DIVISION CHIEF RPCA

DEPARTMENT OF PROJECT IMPLEMENTATION

APPROVED

X *[Signature]* DATE: 3/5/18  
DIRECTOR

RECOMMENDED FOR APPROVAL

X *[Signature]* DATE: 3/5/18  
DEPUTY DIRECTOR

APPROVED

SPECIAL USE PERMIT NO. \_\_\_\_\_  
DEPARTMENT OF PLANNING & ZONING

D.H. Gentry DATE: 2.23.18  
DIRECTOR

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. DSP#2016-00035

X *[Signature]* DATE: 3/5/2018  
DIRECTOR

Thom J. Symon DATE: 2.23.18  
CHAIRMAN, PLANNING COMMISSION

DATE RECORDED

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

FINAL PLANS



CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS  
BY

DATE

DESCRIPTION

ALEXANDRIA PROJECT NO.: \_\_\_\_\_  
DATE OF PLAN ISSUANCE: \_\_\_\_\_  
CONSULTANT PROJECT ID.: \_\_\_\_\_  
DESIGNED BY: \_\_\_\_\_ DATE: 02/16/18  
DRAWN BY: \_\_\_\_\_ DATE: 02/16/18  
CHECKED BY: \_\_\_\_\_ DATE: 02/16/18  
APPROVED BY: \_\_\_\_\_ DATE: 02/16/18

COVER SHEET

SHEET

1 OF 31

SCALE NA





Development Site Plan # 2016-00035  
SUP # 2017-0016  
1 & 2 King Street – Interim Fitzgerald Square

Application	General Data	
Project Name: Interim Fitzgerald Square	PC Hearing:	May 2, 2016
	CC Hearing:	May 13, 2016
	If approved, DSP Expiration:	May 13, 2019
	Plan Acreage:	0.91
Location: 1 & 2 King Street	Zone:	WPR
	Proposed Use:	Park
	Dwelling Units:	N/A
	Gross Floor Area:	1,440
Applicant: City of Alexandria Department of Project Implementation	Small Area Plan:	Waterfront Small Area Plan
	Historic District:	Old & Historic Alexandria
	Green Building:	Compliance with City's Green Building Policy

**Purpose of Application**  
The applicant requests approval of a Development Site Plan to construct an interim public park to serve until the permanent park proposed in the Waterfront Plan is constructed. As part of the proposed uses for the interim park, the applicant requests approval of a Special Use Permit to allow for Commercial Outdoor Recreational Facilities and Outdoor Food & Craft Market uses, and a reduction in the parking requirement for the site.

**Special Use Permit Requested:**

- Special Use Permit to allow the following uses and zoning modifications:
  - Commercial Outdoor Recreational Facility
  - Outdoor Food & Craft Market
  - Parking Reduction

**Staff Recommendation: APPROVAL WITH CONDITIONS**

**Staff Reviewers:**  
Karl Moritz, Director [karl.moritz@alexandriava.gov](mailto:karl.moritz@alexandriava.gov)  
Robert Kerns, AICP, Division Chief [robert.kerns@alexandriava.gov](mailto:robert.kerns@alexandriava.gov)  
Dirk H. Geratz, AICP, Principal Planner [dirk.geratz@alexandriava.gov](mailto:dirk.geratz@alexandriava.gov)  
Nathan Imm, Principal Planner [nathan.imm@alexandriava.gov](mailto:nathan.imm@alexandriava.gov)

**CITY COUNCIL ACTION, MAY 13, 2017:** City Council approved the Planning Commission recommendation.

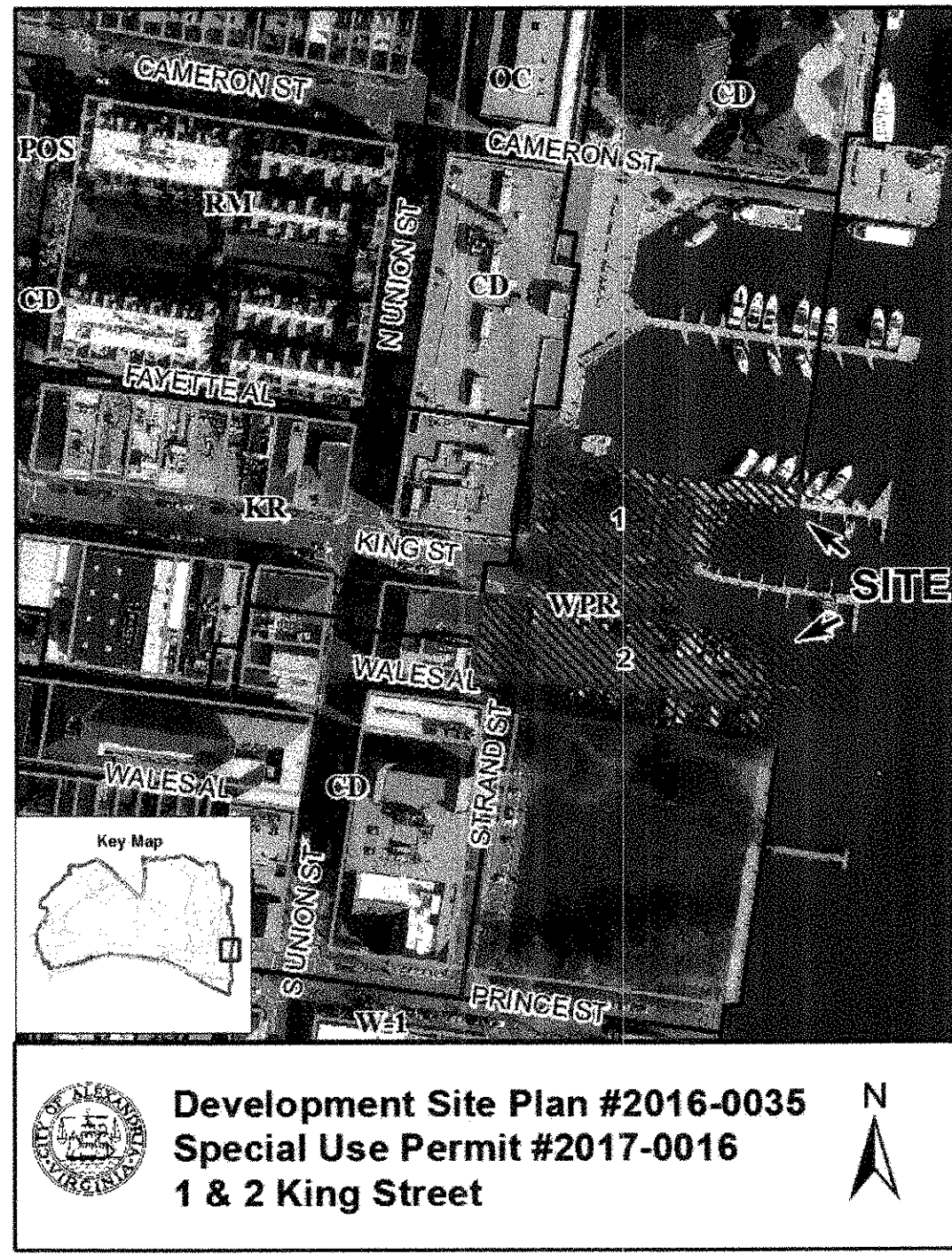
**PLANNING COMMISSION ACTION, MAY 2, 2017:** On a motion by Vice Chairman Macek, seconded by Commissioner Lyle, the Planning Commission voted to approve

DSUP #2016-0035  
SUP #2017-0016  
1 & 2 King Street  
Interim Fitzgerald Square

Development Site Plan #2016-0035, with conditions amended by Staff. The motion carried on a vote of 7 to 0.

On a motion by Vice Chairman Macek, seconded by Commissioner Lyle, the Planning Commission voted to recommend approval of Special Use Permit #2017-0016, as amended by Staff and by Planning Commission. The motion carried on a vote of 7 to 0.

The following condition was removed from SUP #2017-0016 by the Planning Commission:  
1. The outdoor amusement contractor will be encouraged to provide a seasonal garage validation program. Discounts may be provided for individuals who park in garages. The details and procedures of this program shall be established prior to the permitting of the outdoor amusement facility. (T&ES)



Development Site Plan #2016-0035  
Special Use Permit #2017-0016  
1 & 2 King Street

DSUP #2016-00035  
SUP #2017-0016  
1 & 2 King Street  
Interim Fitzgerald Square

DSUP #2016-0035  
SUP #2017-0016  
1 & 2 King Street  
Interim Fitzgerald Square

**VIII. STAFF RECOMMENDATIONS**

- The Final Site Plan shall be in substantial conformance with the preliminary plan dated April 3, 2017 and comply with the following conditions of approval. (P&Z)
- The applicant must meet the conditions of the BAR's approval of a Permit to Demolish (BAR2017-00063) of the former ODBC building at 1 King Street prior to beginning any demolition or site work. (P&Z)

**DEVELOPMENT SITE PLAN**

**A. PEDESTRIAN/STREETSCAPE:**

- Provide the following pedestrian improvements to the satisfaction of the Directors of P&Z and T&ES:
  - Complete all pedestrian improvements prior to opening the park to public use.
  - Install ADA accessible pedestrian crossings serving the site.
  - Construct all concrete sidewalks to City standards. The minimum unobstructed width of sidewalks constructed with this plan shall be 6 feet.
  - All brick sidewalks shall comply with the City's Memos to Industry 05-08 and 01-13.
  - All newly constructed curb ramps in Alexandria shall be concrete with detectable warning and shall conform to current VDOT standards.
  - All below grade utilities placed within a City sidewalk shall be designed in such a manner as to integrate the overall design of the structure with the adjacent paving materials so as to minimize any potential visible impacts. \*\*\* (P&Z)(T&ES)

**B. OPEN SPACE/LANDSCAPING:**

- Develop, provide, install and maintain an integrated Landscape Plan with the Final Site Plan that is coordinated with other associated site conditions to the satisfaction of the Director of P&Z. At a minimum the Landscape Plan shall:
  - Provide a plan exhibit that verifies the growing medium in tree wells/trenches meets the requirements of the City's Landscape Guidelines for soil volume. The plan shall identify all areas that are considered to qualify towards the soil requirements, with numerical values illustrating the volumes. (P&Z)
- Provide the following modifications to the landscape plan, site furnishings plan, details, and supporting drawings: (P&Z)

2

3

17

DSUP #2016-0035  
SUP #2017-0016  
1 & 2 King Street  
Interim Fitzgerald Square

DSUP #2016-0035  
SUP #2017-0016  
1 & 2 King Street  
Interim Fitzgerald Square

DSUP #2016-0035  
SUP #2017-0016  
1 & 2 King Street  
Interim Fitzgerald Square

- Relocate the swinging benches to the areas between the proposed tree planters, to ensure that the path width is unobstructed, considering the swing zone/size of the benches. Clear zone shall be the full width of the path.
- Provide details and sections of the landscape steps, including sloped vs. tapered steps, tread & riser materials, and method of construction.
- Sheet 8 calls out "Gadsby" street lights. These lights are no longer being installed. The newly approved replacement is the Alexandria Historic Street Light. This new street light should be specified and installed.
- Clarify meaning of Bid Options noted, whether these provide additional or different materials from those provided in the drawings, or a subtraction of materials shown in the drawings.
- Develop, in coordination with City Staff, the appropriate methods to restrict use of existing pier and boat launch.
- Provide dimensions, including heights, of planters.
- Complete specifications of all items requiring approval of a Certificate of Appropriateness by the BAR must be included in the application materials for such request.

- Provide a site irrigation and/or water management plan to the satisfaction of the Directors of RP&CA, P&Z and Code Administration. \*(P&Z)
- Develop a palette of site furnishings in consultation with staff.
  - Provide location, and specifications, and details for site furnishings that depict the installation, scale, massing and character of site furnishings to the satisfaction of the Directors of RP&CA, P&Z and T&ES. Fixed site furnishings shall be in conformance with the Waterfront Common Elements or the City standards for streetscapes/Right-of-Way installations, depending on the location. (P&Z) (PC)
  - Site furnishings may include benches, bicycle racks, trash and recycling receptacles, drinking fountains and other associated features. (P&Z)(T&ES)

- Provide material, finishes, and architectural details for all retaining walls, seat walls, decorative walls, and screen walls. Indicate methods for grade transitions, handrails — if required by code, directional changes, above and below grade conditions. Coordinate with adjacent conditions. Design and construction of all walls shall be to the satisfaction of the Directors of P&Z and T&ES. (P&Z)(T&ES)

**C. BUILDING:**

- The applicant shall work with the City for recycling and/or reuse of leftover, unused, and/or discarded materials. (T&ES)(P&Z)

18

- Provide complete design details of shade structures not limited to elevation drawings, dimensions of posts, material of canopy, and color selections. \*(P&Z)

**D. RETAIL USES:**

- All retail uses not provided for through the Special Use Permit shall meet the Zoning Code definitions of accessory retail and/or service commercial uses limited to 10% of the land area. Any additional kiosks, booths, or similar temporary structures to provide for the accessory retail use may be subject to approval by the BAR. (P&Z)

**E. SIGNAGE:**

- The temporary informational sign as required by Section 11-303(D) of the Zoning Ordinance installed on the site when the plans were deemed complete shall be displayed until construction is complete or replaced with a temporary sign incorporating the required information; the sign shall notify the public of the nature of the upcoming project and shall provide a phone number for public questions regarding the project. \*(P&Z)(T&ES)
- All permanent signage must comply with the City of Alexandria Wayfinding Design Guidelines Manual and amendments. (P&Z)

**F. PARKING:**

- Provide 12 bicycle parking spaces per Alexandria's current Bicycle Parking Standards. Bicycle parking standards, acceptable rack types for short- and long-term parking and details for allowable locations are available at: [www.alexandriava.gov/bicycleparking](http://www.alexandriava.gov/bicycleparking). Details on location and type of bicycle parking shall be provided on the Final Site Plan. \*\*\* (T&ES)
- Provide a Parking Management Plan with the Final Site Plan submission. The Parking Management Plan shall be approved by the Departments of P&Z and T&ES prior to the release of the Final Site Plan and shall at a minimum include a general project information/summary and development point of contact. \*(P&Z)(T&ES)

**G. SITE PLAN:**

- Per Section 11-418 of the Zoning Ordinance, the Development Site Plan shall expire and become null and void, unless substantial construction of the project is commenced within 36 months after initial approval and such construction is thereafter pursued with due diligence. The applicant shall provide a written status

19

report to staff 18 months after initial approval to update the City Council on the project status if substantial construction has not commenced at such time. (P&Z)

- Submit applicable approved easements and/or dedications prior to, or concurrent with, the Final Site Plan submission. \*(P&Z)(T&ES)
- Coordinate location of site utilities with other site conditions to the satisfaction of the Directors of P&Z and T&ES. These items include:
  - Location of site utilities including above grade service openings and required clearances for items such as transformers, telephone, HVAC units and cable boxes.
  - Minimize conflicts with plantings, pedestrian areas and major view sheds.
  - Do not locate above grade utilities in dedicated open space areas and tree wells.
  - If applicable, all utilities shall be screened from the public ROW to the satisfaction of the Director of P&Z. (P&Z)(T&ES)(BAR)
- Provide a lighting plan with the Final Site Plan to verify that lighting meets City standards. The plan shall be to the satisfaction of the Directors of T&ES and/or P&Z in consultation with the Chief of Police and shall include the following:
  - Clearly show location of all existing and proposed street lights and site lights, shading back less relevant information.
  - Determine if existing lighting meets minimum standards within the City right-of-way adjacent to the site. If lighting does not meet minimum standards, additional lighting shall be provided to achieve City standards or to the satisfaction of the Director of T&ES.
  - A lighting schedule that identifies each type and number of all fixtures, mounting height, and strength of fixture in Lumens or Watts.
  - All proposed light fixtures in the streetscape or street frontage of the City right of way shall be approved Alexandria Historic Street Light (LED) fixtures
  - Manufacturer's specifications and details for all proposed fixtures including site, landscape, pedestrian, sign(s) and security lighting.
  - If site lighting is provided within the park, a photometric plan with lighting calculations that include all existing and proposed light fixtures, including any existing street lights located on the opposite side(s) of all adjacent streets. Photometric calculations must extend from proposed building face(s) to property line and from property line to the opposite side(s) of all adjacent streets and/or 20 feet beyond the property line on all adjacent properties and rights-of-way. Show existing and proposed street lights and site lights.
  - If site lighting is provided within the park, a photometric site lighting plan shall be coordinated with street trees and street lights to minimize light spill into adjacent residential areas.
  - Any temporary lights installed through the King Street Tree/Holiday Light Program will not be subject to a photometric plan.

20

APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR <i>D.H.G.</i>	DATE 2.23.18
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. DSP#2016-00035	
DIRECTOR <i>James</i>	DATE 3/5/2018
CHAIRMAN, PLANNING COMMISSION	
DATE 2.23.18	
DATE RECORDED _____	
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____	

FINAL PLANS



CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS	DESCRIPTION
DATE	BY

ALEXANDRIA PROJECT NO.:	
DATE OF PLAN ISSUANCE:	
CONSULTANT PROJECT ID:	
DESIGNED BY:	
DRAWN BY:	ML DATE: 02/16/18
CHECKED BY:	AG DATE: 02/16/18
APPROVED BY:	AG DATE: 02/16/18

DEVELOPMENT  
CONDITIONS 01

SHEET  
2 OF 31

SCALE NONE

INTERIM FITZGERALD SQUARE – DSP# 2016–00035



- i. Provide location of conduit routing between site lighting fixtures so as to avoid conflicts with trees.
- j. Detail information indicating proposed light pole and footing in relationship to adjacent grade or pavement. All light pole foundations shall be concealed from view.
- k. The lighting for the areas not covered by the City of Alexandria's standards shall be designed to the satisfaction of Directors of T&ES and P&Z.
- l. Provide numeric summary for various areas (i.e., roadway, walkway/ sidewalk, alley, and parking lot, etc.) in the proposed development.
- m. Upon installation of all exterior light fixtures for the site, the applicant shall provide photographs of the site demonstrating compliance with this condition.
- n. Appropriate lighting shall be used at the development site to prevent light spill onto adjacent properties. (P&Z)(T&ES)(Police)(BAR)
20. Provide a georeferenced CAD file in .dwg format of the hardscape, promenade, and building of the dimension plan of this project. This information will be used to compile a master CAD reference to ensure all elements are correctly located and will connect.\* (P&Z)(DPI)

H. CONSTRUCTION MANAGEMENT:

21. Submit a construction phasing plan to the satisfaction of the Director of T&ES, for review, approval and partial release of Erosion and Sediment Control for the Final Site Plan. All the requirements of Article XIII Environmental Management Ordinance for quality improvement, quantity control, and the development of Storm Water Pollution Prevention Plan (SWPPP) must be complied with prior to the partial release of the site plan.\* (T&ES)
22. Submit a construction management plan to the Directors of P&Z, T&ES and Code Administration prior to Final Site Plan release. The plan shall:
- a. Include an analysis as to whether temporary street or site lighting is needed for safety during the construction on the site and how it is to be installed.
- b. Include an overall proposed schedule for construction;
- c. Include references to appropriate details and standards for temporary pedestrian circulation;
- d. Include references to appropriate details and standards to be used in the development of Maintenance of Traffic Plans (MOTs) that will be required for right of way permits, to include references for proposed controls for traffic movement, lane closures, construction entrances and storage of materials.
- e. Copies of the MOT(s) approved for the right of way permits shall be posted in the construction trailer and given to each subcontractor before they commence work (P&Z)(T&ES)

21

- springs, seeps or related features; and a listing of all wetlands permits required by law. (T&ES)
43. The project is located within an existing RPA or mapped wetland area, therefore the applicant shall prepare a Water Quality Impact Assessment in accordance with the provisions of Article XIII of the City of Alexandria Zoning Ordinance to the satisfaction of the Director of Transportation and Environmental Services. (T&ES)
44. Mitigate any impacts on water quality of the development by encroachment into and/or destruction of an existing resource protection areas (RPAs) and mapped wetland area by the following methods to the satisfaction of the Director of Transportation and Environmental Services:
- a. Restoring streams subject to historic erosion damage.
- b. Increasing vegetation onsite and/or performing offsite plantings.
- c. Contribution to T&ES/DEQ funds to stream restoration / water quality projects.
- d. These mitigation efforts shall be quantified and tabulated against encroachments as follows:
- e. Wetlands destruction shall be mitigated at a ratio of 2:1 and offsite at 3:1.
- f. Resource Protection Area Encroachments shall be mitigated according to the guidelines suggested in the "Riparian Buffers Modification & Mitigation Guidance Manual" by the Chesapeake Bay Local Assistance Department. (T&ES)

O. STORMWATER MANAGEMENT:

45. The City of Alexandria's stormwater management regulations regarding water quality are two-fold: 1) state phosphorus removal requirement and 2) Alexandria Water Quality Volume Default. Compliance with the state phosphorus reduction requirement does not relieve the applicant from the Alexandria Water Quality Default requirement. The Alexandria Water Quality Volume Default, as determined by the site's post-development impervious area shall be treated in a Best Management Practice (BMP) facility or as determined by the Director of T&ES. (T&ES)
46. Provide BMP narrative and complete pre and post development drainage maps that include areas outside that contribute surface runoff from beyond project boundaries to include adequate topographic information, locations of existing and proposed storm drainage systems affected by the development, all proposed BMPs and a completed Virginia Runoff Reduction Method (VRMM) worksheet showing project compliance. The project must use hydrologic soil group "D" in the spreadsheet unless a soils report from a soil scientist or geotechnical engineer delineates onsite soils otherwise. (T&ES)

25

23. The Contractor shall provide off-street parking for all construction workers without charge to the construction workers. Construction workers shall not be permitted to park on-street. For the construction workers who use Metro, DASH, or another form of mass transit to the site, the Contractor shall subsidize a minimum of 50% of the fees for mass transit. Compliance with this condition shall be a component of the construction management plan, which shall be submitted to the Department of P&Z and T&ES prior to Final Site Plan release. This plan shall:
- a. Establish the location of the parking to be provided at various stages of construction, how many spaces will be provided, how many construction workers will be assigned to the work site, and mechanisms which will be used to encourage the use of mass transit.
- b. Provide for the location on the construction site at which information will be posted regarding Metro schedules and routes, bus schedules and routes.
- c. If the off-street construction workers parking plan is found to be violated during the course of construction, a correction notice will be issued to the Contractor. If the violation is not corrected within five (5) days, a "stop work order" will be issued, with construction halted until the violation has been corrected. \* (P&Z)(T&ES)
24. The sidewalks shall remain open during construction or pedestrian access shall be maintained to the satisfaction of the Director of T&ES throughout the construction of the project. (T&ES)
25. Any bicycle facilities adjacent to the site shall remain open during construction. If a bicycle facility cannot be maintained on the street adjacent to the site, a detour for bicyclists shall be established and maintained to the satisfaction of the Director of T&ES throughout the construction of the project. (T&ES)
26. No major construction staging shall be allowed within the public right-of-way on King Street. The applicant shall meet with T&ES to discuss construction staging activities prior to release of any permits for ground disturbing activities. \*\* (T&ES)
27. A "Certified Land Disturber" (CLD) shall be named in a letter to the Division Chief of Infrastructure Right of Way prior to any land disturbing activities. If the CLD changes during the project, that change must be noted in a letter to the Division Chief. A note to this effect shall be placed on the Phase I Erosion and Sediment Control sheets on the site plan. (T&ES)
28. Prior to commencing clearing and grading of the site, the applicant shall hold a meeting with notice to all adjoining property owners and civic associations to review the location of construction worker parking, plan for temporary pedestrian and vehicular circulation, and hours and overall schedule for construction. Adjoining property owners, civic associations, and the Departments of P&Z and

22

47. Prior to project close-out, the Applicant is required to submit a certification by a qualified professional to the satisfaction of the Director of T&ES that any existing stormwater management facilities adjacent to the project and associated conveyance systems were not adversely affected by construction operations. If maintenance of the facility or systems were required in order to make this certification, provide a description of the maintenance measures performed. \*\*\*\*(T&ES)

P. CONTAMINATED LAND:

48. Indicate whether or not there is any known soil and groundwater contamination present on the plan. The applicant must submit supporting reports for associated environmental investigations or assessments performed to substantiate this determination. (T&ES)
49. If environmental site assessments or investigations discover the presence of contamination on site, the final site plan shall not be released, and no construction activity shall take place until the following has been submitted and approved by the Director of T&ES:
- a. Submit a Site Characterization Report/Extent of Contamination Study detailing the location, applicable contaminants, and the estimated quantity of any contaminated soils and/or groundwater at or in the immediate vicinity of the site.
- b. Submit a Risk Assessment indicating any risks associated with the contamination.
- c. Submit a Remediation Plan detailing how any contaminated soils and/or groundwater will be dealt with, including plans to remediate utility corridors. Utility corridors in contaminated soil shall be over excavated by 2 feet and backfilled with "clean" soil. Include description of environmentally sound methods of off-site transport and disposal of contaminated soils and debris (including, but not limited to types of vehicles appropriate for handling specific materials and ensuring vehicle loads are covered).
- d. Submit a Health and Safety Plan indicating measures to be taken during remediation and/or construction activities to minimize the potential risks to workers, the neighborhood, and the environment. Initial Air Monitoring may be required during site activities to demonstrate acceptable levels of volatiles and/or airborne particles. The determination whether air monitoring is needed must be adequately addressed in the Health and Safety Plan submitted for review.
- e. The applicant shall screen for PCBs as part of the site characterization if any of the past uses are within the identified high risk category sites for potential sources of residual PCBs, which includes the following SICs: 26&27 (Paper and Allied Products), 30 (Rubber and Misc. Plastics), 33 (Primary Metal Industries), 34 (Fabricated Metal Products), 37 (Transportation Equipment),

26

- T&ES shall be notified at least 14 calendar days prior to the meeting date, and the meeting must be held before any permits are issued. (P&Z)(T&ES)
29. Identify a person who will serve as a liaison to the community throughout the duration of construction. The name and telephone number, including an emergency contact number, of this individual shall be provided in writing to residents, property managers and business owners whose property abuts the site and shall be placed on the project sign, to the satisfaction of the Directors of P&Z, and/or and T&ES. (P&Z)(T&ES)
30. Implement a waste and refuse control program during the construction phase of this development. This program shall control wastes such as discarded building materials, concrete truck washout, chemicals, litter or trash, trash generated by construction workers or mobile food vendor businesses serving them, and all sanitary waste at the construction site and prevent offsite migration that may cause adverse impacts to neighboring properties or to the environment to the satisfaction of Directors of T&ES and Code Administration. All wastes shall be properly disposed offsite in accordance with all applicable federal, state and local laws. (T&ES)
31. Temporary construction and/or on-site sales trailer(s) shall be permitted and be subject to the approval of the Director of P&Z. The trailer(s) shall be removed prior to opening the park to public use \*\*\* (P&Z)
32. Submit an as-built development site plan survey, pursuant to the requirements outlined in the initial as-built submission for occupancy portion of the as-built development site plan survey checklist to the Department of Transportation and Environmental Services Site Plan Coordinator prior to opening the park to public use. The as-built development site plan survey shall be prepared and sealed by a registered architect, engineer, or surveyor. Include a note which states that the height was calculated based on all applicable provisions of the Zoning Ordinance. \*\*\* (P&Z) (T&ES)
33. Contractors shall not cause or permit vehicles to idle for more than 10 minutes when parked. (T&ES)

I. FLOODPLAIN MANAGEMENT:

34. Demonstrate compliance with flood plain ordinance Section 6-300 to Section 6-311 of Article VI Special and Overlay Zones. No final plan shall be released until full compliance with flood plain ordinance has been demonstrated. \* (T&ES)
35. Furnish specific engineering data and information, in addition to Zoning Ordinance Requirements, as to the effect of the proposed grading on future flood heights. No Final Site Plan shall be released until the applicant has demonstrated
- 49 (Electrical, Gas, and Sanitary Services), 5093 (Scrap Metal Recycling), and 1221&1222 (Bituminous Coal).
- f. Applicant shall submit three (3) electronic and two (2) hard copies of the above. The remediation plan must be included in the Final Site Plan. \* (T&ES)
50. Should any unanticipated contamination, underground storage tanks, drums or containers be encountered at the site during construction, the Applicant must immediately notify the City of Alexandria Department of Transportation and Environmental Services, Office of Environmental Quality. Should unanticipated conditions warrant, construction within the impacted area shall be stopped until the appropriate environmental reports identified in a. through f. above are submitted and approved at the discretion of the Director of Transportation and Environmental Services. This shall be included as a note on the Final Site Plan. (T&ES)
51. If warranted by a Site Characterization report, design and install a vapor barrier and ventilation system for buildings and parking areas in order to prevent the migration or accumulation of methane or other gases, or conduct a study and provide a report signed by a professional engineer showing that such measures are not required to the satisfaction of Directors of T&ES and Code Administration. The installed vapor barrier and ventilation system must include a passive ventilation system that can be converted to an active ventilation system if warranted. (T&ES)

Q. NOISE:

52. Supply deliveries, loading, and unloading activities shall not occur between the hours of 11:00pm and 7:00am. (T&ES)

R. ARCHAEOLOGY:

53. An archaeological consulting firm has completed a Documentary Study for this project. Intensive archaeological excavation will not be necessary for this interim park plan because there will be limited soil disturbance. However, we do require that the applicant contact Alexandria Archaeology (703/746-4399) two weeks before the starting date of any ground disturbance so that a monitoring and inspection schedule for city archaeologists can be arranged. Monitoring will be necessary when trees are uprooted/removed, and other locations where soil excavation will occur.
54. If during the monitoring process significant resources are discovered, the applicant shall hire an archaeological consultant to complete a Resource Management Plan, as outlined in the City of Alexandria Archaeological

27

that no increase in water surface elevation for the 100-year flood will result due to implementation of this project. Computations are to include backwater calculations starting at a downstream cross section to an upstream cross section. Computations shall be made by modifying the existing HEC-RAS model, as prepared by the U.S. Army Corps of Engineers, Baltimore District. \* (T&ES)

J. WASTEWATER / SANITARY SEWERS:

36. Condition deleted.
37. Condition deleted.

K. STREETS / TRAFFIC:

38. If the City's existing public infrastructure is damaged during construction, or patch work required for utility installation then the Contractor shall be responsible for construction/ installation or repair of the same as per the City of Alexandria standards and specifications and to the satisfaction of Director, Transportation and Environmental Services. (T&ES)
39. A pre-construction walk/survey of the site shall occur with Transportation and Environmental Services Construction & Inspection staff to document existing conditions prior to any land disturbing activities. (T&ES)

L. UTILITIES:

40. Locate all private utilities without a franchise agreement outside of the public right-of-way and public utility easements. (T&ES)

M. SOILS:

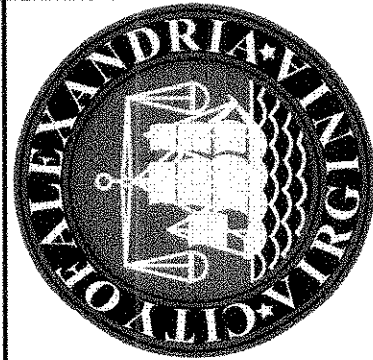
41. Provide a geotechnical report, including recommendations from a geotechnical professional for proposed cut slopes and embankments. (T&ES)

N. WATERSHED, WETLANDS, & RPAs:

42. Provide Environmental Site Assessment Notes that clearly delineate the individual components of the RPA (where applicable) as well as the total geographic extent of the RPA, to include the appropriate buffer, in a method approved by the Director of Transportation and Environmental Services. The Environmental Site Assessment shall also clearly describe, map or explain intermittent streams and associated buffer; highly erodible and highly permeable soils; steep slopes greater than 15 percent in grade; known areas of contamination;

24

APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR <i>D.H. Galt</i>	DATE 2-23-18
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. DSP#2016-00035	
DIRECTOR <i>A. Rocco</i>	DATE 3/5/2018
CHAIRMAN, PLANNING COMMISSION <i>Thay S. Lyman</i>	
DATE RECORDED _____	DATE 2-23-18
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	



CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS	DESCRIPTION
DATE	BY

ALEXANDRIA PROJECT NO.: _____	
DATE OF PLAN ISSUANCE: _____	
CONSULTANT PROJECT ID: _____	
DESIGNED BY: _____	
DRAWN BY: _____	
CHECKED BY: _____	
APPROVED BY: _____	

DEVELOPMENT  
CONDITIONS 02

SHEET  
3 of 31

SCALE NONE



<div>DSUP #2016-0035 SUP #2017-0016 1 &amp; 2 King Street Interim Fitzgerald Square</div>		<div>DSUP #2016-0035 SUP #2017-0016 1 &amp; 2 King Street Interim Fitzgerald Square</div>		<div>DSUP #2016-0035 SUP #2017-0016 1 &amp; 2 King Street Interim Fitzgerald Square</div>		<div>DSUP #2016-0035 SUP #2017-0016 1 &amp; 2 King Street Interim Fitzgerald Square</div>															
Standards. Preservation measures presented in the Resource Management Plan, as approved by the City Archaeologist, will be implemented. (Archaeology)		<div>CITY DEPARTMENT CODE COMMENTS</div> <div>Legend: C - Code Requirement R - Recommendation S - Suggestion F – Finding</div> <div>Planning and Zoning</div> <div>C-1 As-built documents for all landscape and irrigation installations are required to be submitted with the Site as-built for project close-out. Refer to City of Alexandria Landscape Guidelines, Section III A &amp; B. **** (P&amp;Z) (T&amp;ES)</div> <div>C-2 The landscape elements of this development shall be subject to inspections by City staff per City Code requirements for project close-out. A final inspection for landscaping is also required three (3) years after completion. **** (P&amp;Z) (T&amp;ES)</div> <div>C-3 No permits shall be issued prior to the release of the Certificate of Appropriateness from the Board of Architectural Review. (BAR)</div> <div>Transportation and Environmental Services</div> <div>F - 1 An availability of nutrient credit letter has been provided on the plan sheets. Credits must be purchased prior to plan release and the proof of purchase letter must be placed on mylar plans. (T&amp;ES)</div> <div>F - 2 Since the record drawings, maps, and other documents of the City of Alexandria, State, and Federal agencies show the true north pointing upwards, therefore, the Site Plan shall show the true north arrow pointing upward as is customary; however, for the sake of putting the plan together and/or ease of understanding, the project north arrow pointing upward, preferably east, or west may be shown provided it is consistently shown in the same direction on all the sheets with no exception at all. The north arrow shall show the source of meridian. The project north arrow pointing downward will not be acceptable even if, it is shown consistently on all the sheets. (T&amp;ES)</div> <div>F - 3 The Final Site Plan must be prepared per the requirements of Memorandum to Industry 02-09 dated December 3, 2009, Design Guidelines for Site Plan Preparation, which is available at the City’s following web address:  http://alexandriava.gov/uploadedFiles/tes/info/Memo%20to%20Industry%20No.%2002-09%20December%203,%202009.pdf</div> <div>F - 4 The plan shall show sanitary and storm sewer, and water line in plan and profile in the first final submission and cross reference the sheets on which the plan and profile is shown, if plan and profile is not shown on the same sheet. Clearly label the sanitary and storm sewer, or water line plans and profiles. Provide existing and proposed grade elevations along with the rim and invert elevations of all the existing and proposed sanitary and storm sewer at manholes, and water line piping at gate wells on the respective profiles. Use distinctive stationing for various sanitary and storm sewers (if</div>		applicable or required by the plan), and water line in plan and use the corresponding stationing in respective profiles. (T&ES)		F - 5 The Plan shall include a dimension plan with all proposed features fully dimensioned and the property line clearly shown. (T&ES)		F - 6 Include all symbols, abbreviations, and line types in the legend. (T&ES)		F - 7 Asphalt patches larger than 20% of the total asphalt surface, measured along the length of the road adjacent to the property frontage and/or extending to the centerline of the street, will require full curb to curb restoration (T&ES)		F - 8 All storm sewers shall be constructed to the City of Alexandria standards and specifications. Minimum diameter for storm sewers shall be 18” in the public Right of Way (ROW) and the minimum size storm sewer catch basin lead is 15”. The acceptable pipe materials will be Reinforced Concrete Pipe (RCP) ASTM C-76 Class IV. Alternatively, AWWA C-151 (ANSI A21.51) Class 52 may be used if approved by the Director of T&ES. For roof drainage system, Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26 and ASTM 1785-76 Schedule 40 pipes will be acceptable. The acceptable minimum and maximum velocities will be 2.0 fps and 15 fps, respectively. The storm sewers immediately upstream of the first manhole in the public Right of Way shall be owned and maintained privately (i.e., all storm drains not shown within an easement or in a public Right of Way shall be owned and maintained privately). (T&ES)		F - 9 All sanitary sewers shall be constructed to the City of Alexandria standards and specifications. Minimum diameter of sanitary sewers shall be 10 inches in the public Right of Way and sanitary lateral 6 inches for all commercial and institutional developments; however, a 4 inch sanitary lateral will be acceptable for single family residences. The acceptable pipe materials will be Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26, ASTM 1785-76 Schedule 40, Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52, or reinforced concrete pipe ASTM C-76 Class IV (For 12 inch or larger diameters); Class III may be acceptable on private properties. The acceptable minimum and maximum velocities will be 2.5 fps and 10 fps, respectively. Laterals shall be connected to the sanitary sewer through a manufactured “Y” or “T” or approved sewer saddle. Where the laterals are being connected to existing Terracotta pipes, replace the section of main and provide manufactured “Y” or “T”, or else install a manhole. (T&ES)		F - 10 Lateral Separation of Sewers and Water Mains: A horizontal separation of 10 feet (edge to edge) shall be provided between a storm or sanitary sewer and a water line; however, if this horizontal separation cannot be achieved then the sewer and water main shall be installed in separate trenches and the bottom of the water main shall be at least 18 inches above of the top of the sewer. If both the horizontal and vertical separations cannot be achieved then the sewer pipe material shall be Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 and pressure tested in place without leakage prior to installation.(T&ES)					
28		29		30		31															
<div>DSUP #2016-0035 SUP #2017-0016 1 &amp; 2 King Street Interim Fitzgerald Square</div>		<div>DSUP #2016-0035 SUP #2017-0016 1 &amp; 2 King Street Interim Fitzgerald Square</div>		<div>DSUP #2016-0035 SUP #2017-0016 1 &amp; 2 King Street Interim Fitzgerald Square</div>		<div>DSUP #2016-0035 SUP #2017-0016 1 &amp; 2 King Street Interim Fitzgerald Square</div>															
plans shall provide continual, safe and accessible pedestrian pathways for the duration of the project. These sheets are to be provided as “Information Only.” (T&ES)		C-4 The proposed development shall conform to all requirements and restrictions set forth in Section 6-300 (Flood plain District) of Article VI (Special and Overlay Zones) of the City of Alexandria Zoning Ordinance. (T&ES)		C-10 The applicant shall be responsible to deliver all solid waste, as defined by the City Charter and Code of the City of Alexandria, to the Covanta Energy Waste Facility located at 5301 Eisenhower Avenue. A note to that effect shall be included on the plan. The developer further agrees to stipulate in any future lease or property sales agreement that all tenants and/or property owners shall also comply with this requirement. (T&ES)		C-11 Plans and profiles of utilities and roads in public easements and/or public Right of Way must be approved prior to release of the plan.* (T&ES)		C-12 Provide a phased erosion and sediment control plan consistent with grading and construction plan. (T&ES)		C-13 Per the Memorandum to Industry, dated July 20, 2005, the applicant is advised regarding a requirement that applicants provide as-built sewer data as part of the final as-built process. Upon consultation with engineering firms, it has been determined that initial site survey work and plans will need to be prepared using Virginia State Plane (North Zone) coordinates based on NAD 83 and NAVD 88. Control points/Benchmarks which were used to establish these coordinates should be referenced on the plans. To insure that this requirement is achieved, the applicant is requested to prepare plans in this format including initial site survey work if necessary. (T&ES)		C-14 The thickness of sub-base, base, and wearing course shall be designed using “California Method” as set forth on page 3-76 of the second edition of a book entitled, “Data Book for Civil Engineers, Volume One, Design” written by Elwyn E. Seelye. Values of California Bearing Ratios used in the design shall be determined by field and/or laboratory tests. An alternate pavement section for Emergency Vehicle Easements (EVE) to support H-20 loading designed using California Bearing Ratio (CBR) determined through geotechnical investigation and using Virginia Department of Transportation (VDOT) method (Vaswani Method) and standard material specifications designed to the satisfaction of the Director of Transportation and Environmental Services (T&ES) will be acceptable. (T&ES)		C-15 All pedestrian, traffic, and way finding signage shall be provided in accordance with the Manual of Uniform Traffic Control Devices (MUTCD), latest edition to the satisfaction of the Director of T&ES. (T&ES)		C-16 No overhangs (decks, bays, columns, post or other obstructions) shall protrude into public Right of Ways, public easements, and pedestrian or vehicular travelways unless otherwise permitted by the City Code. (T&ES)		C-17 All driveway entrances, curbing, etc. in the public ROW or abutting public ROW shall meet City design standards. (T&ES)		C-18 All sanitary laterals and/or sewers not shown in the easements shall be owned and maintained privately. (T&ES)	
F - 19 The following notes shall be included on all Maintenance of Traffic Plan Sheets: (T&ES)		C-5 If the City of Alexandria receives complaints on lighting levels after the commissioning of the lights the applicant shall make additional improvements to adjust lighting levels to the satisfaction of the Director of T&ES to comply with Section 13-1-3 of the City Code. (T&ES)		C-11 Plans and profiles of utilities and roads in public easements and/or public Right of Way must be approved prior to release of the plan.* (T&ES)		C-12 Provide a phased erosion and sediment control plan consistent with grading and construction plan. (T&ES)		C-13 Per the Memorandum to Industry, dated July 20, 2005, the applicant is advised regarding a requirement that applicants provide as-built sewer data as part of the final as-built process. Upon consultation with engineering firms, it has been determined that initial site survey work and plans will need to be prepared using Virginia State Plane (North Zone) coordinates based on NAD 83 and NAVD 88. Control points/Benchmarks which were used to establish these coordinates should be referenced on the plans. To insure that this requirement is achieved, the applicant is requested to prepare plans in this format including initial site survey work if necessary. (T&ES)		C-14 The thickness of sub-base, base, and wearing course shall be designed using “California Method” as set forth on page 3-76 of the second edition of a book entitled, “Data Book for Civil Engineers, Volume One, Design” written by Elwyn E. Seelye. Values of California Bearing Ratios used in the design shall be determined by field and/or laboratory tests. An alternate pavement section for Emergency Vehicle Easements (EVE) to support H-20 loading designed using California Bearing Ratio (CBR) determined through geotechnical investigation and using Virginia Department of Transportation (VDOT) method (Vaswani Method) and standard material specifications designed to the satisfaction of the Director of Transportation and Environmental Services (T&ES) will be acceptable. (T&ES)		C-15 All pedestrian, traffic, and way finding signage shall be provided in accordance with the Manual of Uniform Traffic Control Devices (MUTCD), latest edition to the satisfaction of the Director of T&ES. (T&ES)		C-16 No overhangs (decks, bays, columns, post or other obstructions) shall protrude into public Right of Ways, public easements, and pedestrian or vehicular travelways unless otherwise permitted by the City Code. (T&ES)		C-17 All driveway entrances, curbing, etc. in the public ROW or abutting public ROW shall meet City design standards. (T&ES)		C-18 All sanitary laterals and/or sewers not shown in the easements shall be owned and maintained privately. (T&ES)			
a. The prepared drawings shall include a statement “FOR INFORMATION ONLY” on all MOT Sheets.		C-6 Location of customer utility services and installation of transmission, distribution and main lines in the public rights of way by any public service company shall be governed by franchise agreement with the City in accordance with Title 5, Chapter 3, Section 5-3-2 and Section 5-3-3, respectively. The transformers, switch gears, and boxes shall be located outside of the public right of way. (T&ES)		C-12 Provide a phased erosion and sediment control plan consistent with grading and construction plan. (T&ES)		C-13 Per the Memorandum to Industry, dated July 20, 2005, the applicant is advised regarding a requirement that applicants provide as-built sewer data as part of the final as-built process. Upon consultation with engineering firms, it has been determined that initial site survey work and plans will need to be prepared using Virginia State Plane (North Zone) coordinates based on NAD 83 and NAVD 88. Control points/Benchmarks which were used to establish these coordinates should be referenced on the plans. To insure that this requirement is achieved, the applicant is requested to prepare plans in this format including initial site survey work if necessary. (T&ES)		C-14 The thickness of sub-base, base, and wearing course shall be designed using “California Method” as set forth on page 3-76 of the second edition of a book entitled, “Data Book for Civil Engineers, Volume One, Design” written by Elwyn E. Seelye. Values of California Bearing Ratios used in the design shall be determined by field and/or laboratory tests. An alternate pavement section for Emergency Vehicle Easements (EVE) to support H-20 loading designed using California Bearing Ratio (CBR) determined through geotechnical investigation and using Virginia Department of Transportation (VDOT) method (Vaswani Method) and standard material specifications designed to the satisfaction of the Director of Transportation and Environmental Services (T&ES) will be acceptable. (T&ES)		C-15 All pedestrian, traffic, and way finding signage shall be provided in accordance with the Manual of Uniform Traffic Control Devices (MUTCD), latest edition to the satisfaction of the Director of T&ES. (T&ES)		C-16 No overhangs (decks, bays, columns, post or other obstructions) shall protrude into public Right of Ways, public easements, and pedestrian or vehicular travelways unless otherwise permitted by the City Code. (T&ES)		C-17 All driveway entrances, curbing, etc. in the public ROW or abutting public ROW shall meet City design standards. (T&ES)		C-18 All sanitary laterals and/or sewers not shown in the easements shall be owned and maintained privately. (T&ES)					
b. Sidewalk closures will not be permitted for the duration of the project. Temporary sidewalk closures are subject to separate approval from Transportation and Environmental Services (T&ES) at the time of permit application.		C-7 Per the requirements of Section 5-3-2, Article A, Chapter 3 of the City of Alexandria Code, all new customer utility services, extensions of existing customer utility services and existing overhead customer utility services supplied by any existing overhead facilities which are relocated underground shall, after October 15, 1971 be installed below the surface of the ground except otherwise exempted by the City Code and to the satisfaction of the Director, Department of Transportation and Environmental Services. (b) Per the requirements of Section 5-3-3, Article A, Chapter 3 of the City of Alexandria Code, all new installation or relocation of poles, towers, wires, lines, cables, conduits, pipes, mains, and appurtenances used or intended to be used to transmit or distribute any service such as electric current, telephone, telegraph, cable television, traffic control, fire alarm, police communication, gas, water, steam or petroleum, whether or not on the streets, alleys, or other public places of the City shall, after October 15, 1971, be installed below the surface of the ground or below the surface in the case of bridges and elevated highways except otherwise exempted by the City Code and to the satisfaction of Director, Department of Transportation and Environmental Services. (T&ES)		C-12 Provide a phased erosion and sediment control plan consistent with grading and construction plan. (T&ES)		C-13 Per the Memorandum to Industry, dated July 20, 2005, the applicant is advised regarding a requirement that applicants provide as-built sewer data as part of the final as-built process. Upon consultation with engineering firms, it has been determined that initial site survey work and plans will need to be prepared using Virginia State Plane (North Zone) coordinates based on NAD 83 and NAVD 88. Control points/Benchmarks which were used to establish these coordinates should be referenced on the plans. To insure that this requirement is achieved, the applicant is requested to prepare plans in this format including initial site survey work if necessary. (T&ES)		C-14 The thickness of sub-base, base, and wearing course shall be designed using “California Method” as set forth on page 3-76 of the second edition of a book entitled, “Data Book for Civil Engineers, Volume One, Design” written by Elwyn E. Seelye. Values of California Bearing Ratios used in the design shall be determined by field and/or laboratory tests. An alternate pavement section for Emergency Vehicle Easements (EVE) to support H-20 loading designed using California Bearing Ratio (CBR) determined through geotechnical investigation and using Virginia Department of Transportation (VDOT) method (Vaswani Method) and standard material specifications designed to the satisfaction of the Director of Transportation and Environmental Services (T&ES) will be acceptable. (T&ES)		C-15 All pedestrian, traffic, and way finding signage shall be provided in accordance with the Manual of Uniform Traffic Control Devices (MUTCD), latest edition to the satisfaction of the Director of T&ES. (T&ES)		C-16 No overhangs (decks, bays, columns, post or other obstructions) shall protrude into public Right of Ways, public easements, and pedestrian or vehicular travelways unless otherwise permitted by the City Code. (T&ES)		C-17 All driveway entrances, curbing, etc. in the public ROW or abutting public ROW shall meet City design standards. (T&ES)		C-18 All sanitary laterals and/or sewers not shown in the easements shall be owned and maintained privately. (T&ES)					
c. Contractor shall apply for all necessary permits for uses of the City Right of Way and shall submit MOT Plans with the T&ES Application for final approval at that time. *		C-8 Flow from downspouts, foundation drains, and sump pumps shall be discharged to the storm sewer per the requirements of Memorandum to Industry 05-14 that is available on the City of Alexandria’s web site. The downspouts and sump pump discharges shall be piped to the storm sewer outfall, where applicable after treating for water quality as per the requirements of Article XIII of Alexandria Zoning Ordinance (AZO). (T&ES)		C-12 Provide a phased erosion and sediment control plan consistent with grading and construction plan. (T&ES)		C-13 Per the Memorandum to Industry, dated July 20, 2005, the applicant is advised regarding a requirement that applicants provide as-built sewer data as part of the final as-built process. Upon consultation with engineering firms, it has been determined that initial site survey work and plans will need to be prepared using Virginia State Plane (North Zone) coordinates based on NAD 83 and NAVD 88. Control points/Benchmarks which were used to establish these coordinates should be referenced on the plans. To insure that this requirement is achieved, the applicant is requested to prepare plans in this format including initial site survey work if necessary. (T&ES)		C-14 The thickness of sub-base, base, and wearing course shall be designed using “California Method” as set forth on page 3-76 of the second edition of a book entitled, “Data Book for Civil Engineers, Volume One, Design” written by Elwyn E. Seelye. Values of California Bearing Ratios used in the design shall be determined by field and/or laboratory tests. An alternate pavement section for Emergency Vehicle Easements (EVE) to support H-20 loading designed using California Bearing Ratio (CBR) determined through geotechnical investigation and using Virginia Department of Transportation (VDOT) method (Vaswani Method) and standard material specifications designed to the satisfaction of the Director of Transportation and Environmental Services (T&ES) will be acceptable. (T&ES)		C-15 All pedestrian, traffic, and way finding signage shall be provided in accordance with the Manual of Uniform Traffic Control Devices (MUTCD), latest edition to the satisfaction of the Director of T&ES. (T&ES)		C-16 No overhangs (decks, bays, columns, post or other obstructions) shall protrude into public Right of Ways, public easements, and pedestrian or vehicular travelways unless otherwise permitted by the City Code. (T&ES)		C-17 All driveway entrances, curbing, etc. in the public ROW or abutting public ROW shall meet City design standards. (T&ES)		C-18 All sanitary laterals and/or sewers not shown in the easements shall be owned and maintained privately. (T&ES)					
F - 20 Add complete streets tabulation to the cover sheet with the Final 1 submission. (T&ES)		C-9 Per the requirements of Title 4, Chapter 2, Article B, Section 4-2-21, Appendix A, Section A 106(6), Figure A 106.1 Minimum Standards for Emergency Vehicle Access: provide a total turning radius of 25 feet to the satisfaction of Directors of T&ES and Office of Building and Fire Code Administration and show turning movements of standard vehicles in the parking lot as per the latest AASHTO vehicular guidelines. (T&ES)		C-12 Provide a phased erosion and sediment control plan consistent with grading and construction plan. (T&ES)		C-13 Per the Memorandum to Industry, dated July 20, 2005, the applicant is advised regarding a requirement that applicants provide as-built sewer data as part of the final as-built process. Upon consultation with engineering firms, it has been determined that initial site survey work and plans will need to be prepared using Virginia State Plane (North Zone) coordinates based on NAD 83 and NAVD 88. Control points/Benchmarks which were used to establish these coordinates should be referenced on the plans. To insure that this requirement is achieved, the applicant is requested to prepare plans in this format including initial site survey work if necessary. (T&ES)		C-14 The thickness of sub-base, base, and wearing course shall be designed using “California Method” as set forth on page 3-76 of the second edition of a book entitled, “Data Book for Civil Engineers, Volume One, Design” written by Elwyn E. Seelye. Values of California Bearing Ratios used in the design shall be determined by field and/or laboratory tests. An alternate pavement section for Emergency Vehicle Easements (EVE) to support H-20 loading designed using California Bearing Ratio (CBR) determined through geotechnical investigation and using Virginia Department of Transportation (VDOT) method (Vaswani Method) and standard material specifications designed to the satisfaction of the Director of Transportation and Environmental Services (T&ES) will be acceptable. (T&ES)		C-15 All pedestrian, traffic, and way finding signage shall be provided in accordance with the Manual of Uniform Traffic Control Devices (MUTCD), latest edition to the satisfaction of the Director of T&ES. (T&ES)		C-16 No overhangs (decks, bays, columns, post or other obstructions) shall protrude into public Right of Ways, public easements, and pedestrian or vehicular travelways unless otherwise permitted by the City Code. (T&ES)		C-17 All driveway entrances, curbing, etc. in the public ROW or abutting public ROW shall meet City design standards. (T&ES)		C-18 All sanitary laterals and/or sewers not shown in the easements shall be owned and maintained privately. (T&ES)					
C-1 Per the requirements of the City of Alexandria Zoning Ordinance Article XI, the applicant shall complete a drainage study and adequate outfall analysis for the total drainage area to the receiving sewer that serves the site. If the existing storm system is determined to be inadequate then the applicant shall design and build on-site or off-site improvements to discharge to an adequate outfall; even if the post development stormwater flow from the site is reduced from the pre-development flow. The Plan shall demonstrate to the satisfaction of the Director of T&ES that a non-erosive stormwater outfall is present. (T&ES)		C-2 Per the requirements of the City of Alexandria Zoning Ordinance (AZO) Article XIII, Environmental Management Ordinance, the applicant shall comply with the stormwater quality and quantity requirements and provide channel protection and flood protection in accordance with these requirements. If combined uncontrolled and controlled stormwater outfall is proposed, the peak flow requirements of the Zoning Ordinance shall be met. If the project site lies within the Braddock-West watershed or known flooding area, then the applicant shall provide an additional 10 percent storage of the pre-development flows in this watershed to meet detention requirements. (T&ES)		C-12 Provide a phased erosion and sediment control plan consistent with grading and construction plan. (T&ES)		C-13 Per the Memorandum to Industry, dated July 20, 2005, the applicant is advised regarding a requirement that applicants provide as-built sewer data as part of the final as-built process. Upon consultation with engineering firms, it has been determined that initial site survey work and plans will need to be prepared using Virginia State Plane (North Zone) coordinates based on NAD 83 and NAVD 88. Control points/Benchmarks which were used to establish these coordinates should be referenced on the plans. To insure that this requirement is achieved, the applicant is requested to prepare plans in this format including initial site survey work if necessary. (T&ES)		C-14 The thickness of sub-base, base, and wearing course shall be designed using “California Method” as set forth on page 3-76 of the second edition of a book entitled, “Data Book for Civil Engineers, Volume One, Design” written by Elwyn E. Seelye. Values of California Bearing Ratios used in the design shall be determined by field and/or laboratory tests. An alternate pavement section for Emergency Vehicle Easements (EVE) to support H-20 loading designed using California Bearing Ratio (CBR) determined through geotechnical investigation and using Virginia Department of Transportation (VDOT) method (Vaswani Method) and standard material specifications designed to the satisfaction of the Director of Transportation and Environmental Services (T&ES) will be acceptable. (T&ES)		C-15 All pedestrian, traffic, and way finding signage shall be provided in accordance with the Manual of Uniform Traffic Control Devices (MUTCD), latest edition to the satisfaction of the Director of T&ES. (T&ES)		C-16 No overhangs (decks, bays, columns, post or other obstructions) shall protrude into public Right of Ways, public easements, and pedestrian or vehicular travelways unless otherwise permitted by the City Code. (T&ES)		C-17 All driveway entrances, curbing, etc. in the public ROW or abutting public ROW shall meet City design standards. (T&ES)		C-18 All sanitary laterals and/or sewers not shown in the easements shall be owned and maintained privately. (T&ES)					
C-3 Per the requirements of Article 13-114 (f) of the AZO, all stormwater designs that require analysis of pressure hydraulic systems, including but not limited to the design of flow control structures and stormwater flow conveyance systems shall be signed and sealed by a professional engineer, registered in the Commonwealth of Virginia. The design of storm sewer shall include the adequate outfall, inlet, and hydraulic grade line (HGL) analyses that shall be completed to the satisfaction of the Director of T&ES. Provide appropriate reference and/or source used to complete these analyses. (T&ES)		C-2 Per the requirements of the City of Alexandria Zoning Ordinance (AZO) Article XIII, Environmental Management Ordinance, the applicant shall comply with the stormwater quality and quantity requirements and provide channel protection and flood protection in accordance with these requirements. If combined uncontrolled and controlled stormwater outfall is proposed, the peak flow requirements of the Zoning Ordinance shall be met. If the project site lies within the Braddock-West watershed or known flooding area, then the applicant shall provide an additional 10 percent storage of the pre-development flows in this watershed to meet detention requirements. (T&ES)		C-12 Provide a phased erosion and sediment control plan consistent with grading and construction plan. (T&ES)		C-13 Per the Memorandum to Industry, dated July 20, 2005, the applicant is advised regarding a requirement that applicants provide as-built sewer data as part of the final as-built process. Upon consultation with engineering firms, it has been determined that initial site survey work and plans will need to be prepared using Virginia State Plane (North Zone) coordinates based on NAD 83 and NAVD 88. Control points/Benchmarks which were used to establish these coordinates should be referenced on the plans. To insure that this requirement is achieved, the applicant is requested to prepare plans in this format including initial site survey work if necessary. (T&ES)		C-14 The thickness of sub-base, base, and wearing course shall be designed using “California Method” as set forth on page 3-76 of the second edition of a book entitled, “Data Book for Civil Engineers, Volume One, Design” written by Elwyn E. Seelye. Values of California Bearing Ratios used in the design shall be determined by field and/or laboratory tests. An alternate pavement section for Emergency Vehicle Easements (EVE) to support H-20 loading designed using California Bearing Ratio (CBR) determined through geotechnical investigation and using Virginia Department of Transportation (VDOT) method (Vaswani Method) and standard material specifications designed to the satisfaction of the Director of Transportation and Environmental Services (T&ES) will be acceptable. (T&ES)		C-15 All pedestrian, traffic, and way finding signage shall be provided in accordance with the Manual of Uniform Traffic Control Devices (MUTCD), latest edition to the satisfaction of the Director of T&ES. (T&ES)		C-16 No overhangs (decks, bays, columns, post or other obstructions) shall protrude into public Right of Ways, public easements, and pedestrian or vehicular travelways unless otherwise permitted by the City Code. (T&ES)		C-17 All driveway entrances, curbing, etc. in the public ROW or abutting public ROW shall meet City design standards. (T&ES)		C-18 All sanitary laterals and/or sewers not shown in the easements shall be owned and maintained privately. (T&ES)					
32		33		34																	

<div>DSUP #2016-0035 SUP #2017-0016 1 &amp; 2 King Street Interim Fitzgerald Square</div>		<div>DSUP #2016-0035 SUP #2017-0016 1 &amp; 2 King Street Interim Fitzgerald Square</div>		<div>DSUP #2016-0035 SUP #2017-0016 1 &amp; 2 King Street Interim Fitzgerald Square</div>		<div>DSUP #2016-0035 SUP #2017-0016 1 &amp; 2 King Street Interim Fitzgerald Square</div>															
plans shall provide continual, safe and accessible pedestrian pathways for the duration of the project. These sheets are to be provided as “Information Only.” (T&ES)		C-4 The proposed development shall conform to all requirements and restrictions set forth in Section 6-300 (Flood plain District) of Article VI (Special and Overlay Zones) of the City of Alexandria Zoning Ordinance. (T&ES)		C-10 The applicant shall be responsible to deliver all solid waste, as defined by the City Charter and Code of the City of Alexandria, to the Covanta Energy Waste Facility located at 5301 Eisenhower Avenue. A note to that effect shall be included on the plan. The developer further agrees to stipulate in any future lease or property sales agreement that all tenants and/or property owners shall also comply with this requirement. (T&ES)		C-11 Plans and profiles of utilities and roads in public easements and/or public Right of Way must be approved prior to release of the plan.* (T&ES)		C-12 Provide a phased erosion and sediment control plan consistent with grading and construction plan. (T&ES)		C-13 Per the Memorandum to Industry, dated July 20, 2005, the applicant is advised regarding a requirement that applicants provide as-built sewer data as part of the final as-built process. Upon consultation with engineering firms, it has been determined that initial site survey work and plans will need to be prepared using Virginia State Plane (North Zone) coordinates based on NAD 83 and NAVD 88. Control points/Benchmarks which were used to establish these coordinates should be referenced on the plans. To insure that this requirement is achieved, the applicant is requested to prepare plans in this format including initial site survey work if necessary. (T&ES)		C-14 The thickness of sub-base, base, and wearing course shall be designed using “California Method” as set forth on page 3-76 of the second edition of a book entitled, “Data Book for Civil Engineers, Volume One, Design” written by Elwyn E. Seelye. Values of California Bearing Ratios used in the design shall be determined by field and/or laboratory tests. An alternate pavement section for Emergency Vehicle Easements (EVE) to support H-20 loading designed using California Bearing Ratio (CBR) determined through geotechnical investigation and using Virginia Department of Transportation (VDOT) method (Vaswani Method) and standard material specifications designed to the satisfaction of the Director of Transportation and Environmental Services (T&ES) will be acceptable. (T&ES)		C-15 All pedestrian, traffic, and way finding signage shall be provided in accordance with the Manual of Uniform Traffic Control Devices (MUTCD), latest edition to the satisfaction of the Director of T&ES. (T&ES)		C-16 No overhangs (decks, bays, columns, post or other obstructions) shall protrude into public Right of Ways, public easements, and pedestrian or vehicular travelways unless otherwise permitted by the City Code. (T&ES)		C-17 All driveway entrances, curbing, etc. in the public ROW or abutting public ROW shall meet City design standards. (T&ES)		C-18 All sanitary laterals and/or sewers not shown in the easements shall be owned and maintained privately. (T&ES)	
F - 19 The following notes shall be included on all Maintenance of Traffic Plan Sheets: (T&ES)		C-5 If the City of Alexandria receives complaints on lighting levels after the commissioning of the lights the applicant shall make additional improvements to adjust lighting levels to the satisfaction of the Director of T&ES to comply with Section 13-1-3 of the City Code. (T&ES)		C-11 Plans and profiles of utilities and roads in public easements and/or public Right of Way must be approved prior to release of the plan.* (T&ES)		C-12 Provide a phased erosion and sediment control plan consistent with grading and construction plan. (T&ES)		C-13 Per the Memorandum to Industry, dated July 20, 2005, the applicant is advised regarding a requirement that applicants provide as-built sewer data as part of the final as-built process. Upon consultation with engineering firms, it has been determined that initial site survey work and plans will need to be prepared using Virginia State Plane (North Zone) coordinates based on NAD 83 and NAVD 88. Control points/Benchmarks which were used to establish these coordinates should be referenced on the plans. To insure that this requirement is achieved, the applicant is requested to prepare plans in this format including initial site survey work if necessary. (T&ES)		C-14 The thickness of sub-base, base, and wearing course shall be designed using “California Method” as set forth on page 3-76 of the second edition of a book entitled, “Data Book for Civil Engineers, Volume One, Design” written by Elwyn E. Seelye. Values of California Bearing Ratios used in the design shall be determined by field and/or laboratory tests. An alternate pavement section for Emergency Vehicle Easements (EVE) to support H-20 loading designed using California Bearing Ratio (CBR) determined through geotechnical investigation and using Virginia Department of Transportation (VDOT) method (Vaswani Method) and standard material specifications designed to the satisfaction of the Director of Transportation and Environmental Services (T&ES) will be acceptable. (T&ES)		C-15 All pedestrian, traffic, and way finding signage shall be provided in accordance with the Manual of Uniform Traffic Control Devices (MUTCD), latest edition to the satisfaction of the Director of T&ES. (T&ES)		C-16 No overhangs (decks, bays, columns, post or other obstructions) shall protrude into public Right of Ways, public easements, and pedestrian or vehicular travelways unless otherwise permitted by the City Code. (T&ES)		C-17 All driveway entrances, curbing, etc. in the public ROW or abutting public ROW shall meet City design standards. (T&ES)		C-18 All sanitary laterals and/or sewers not shown in the easements shall be owned and maintained privately. (T&ES)			
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CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS  
BY DESCRIPTION  
DATE

ALEXANDRIA PROJECT NO.:  
DATE OF PLAN ISSUANCE:  
CONSULTANT PROJECT ID:  
DESIGNED BY: DATE:  
DRAWN BY: ML DATE:02/16/18  
CHECKED BY: AG DATE:02/16/18  
APPROVED BY: AG DATE:02/16/18

DEVELOPMENT  
CONDITIONS 03

SHEET  
4 OF 31  
SCALE NONE

FINAL PLANS

INTERIM FITZGERALD SQUARE – DSP# 2016–00035



DSUP #2016-0035  
SUP #2017-0016  
1 & 2 King Street  
Interim Fitzgerald Square

C-19 The applicant shall comply with the City of Alexandria’s Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C-20 All construction activities must comply with the Alexandria Noise Control Code Title 11, Chapter 5, Section 11-5-4(b)(15), which permits construction activities to occur between the following hours:  
a. Monday Through Friday from 7 AM To 6 PM and  
b. Saturdays from 9 AM to 6 PM.  
c. No construction activities are permitted on Sundays and holidays.  
Section 11-5-4(b)(19) further restricts the Pile Driving to the following hours :  
d. Monday Through Friday from 9 AM To 6 PM and  
e. Saturdays from 10 AM To 4 PM  
f. No pile driving is permitted on Sundays and holidays.  
Section 11-5-109 restricts work in the right of way for excavation to the following:  
g. Monday through Saturday 7 AM to 5 pm  
h. No excavation in the right of way is permitted on Sundays. (T&ES)

C-21 The applicant shall comply with the Article XIII of the City of Alexandria Zoning Ordinance, which includes requirements for stormwater pollutant load reduction, treatment of the Alexandria Water Quality Volume Default and stormwater quantity management. (T&ES)

C-22 The applicant shall comply with the City of Alexandria, Erosion and Sediment Control Code, Section 5, Chapter 4. (T&ES)

C-23 All required permits from Virginia Department of Environmental Quality, Environmental Protection Agency, Army Corps of Engineers, and/or Virginia Marine Resources shall be in place for all project construction and mitigation work prior to release of the Final Site Plan. This includes the state requirement for a state General VPDES Permit for Discharges of Stormwater from Construction Activities (general permit) and associated Stormwater Pollution Prevention Plan (SWPPP), for land disturbing activities equal to or greater than one acre. See memo to industry 08-14 which can be found on-line here: <http://alexandriava.gov/tes/info/default.aspx?id=3522>. \*(T&ES)

**VAWC Comments:**  
F-1 Please see waterline As Build #A-2912 provided separately to applicant. Please note that there is only 2” domestic copper service line extended to existing building. Any proposed fire line and fire hydrant shall be connected to existing 12” water main on King Street.

**AlexRenew Comments:**  
AlexRenew has no comments.

**Fire Department**

35

DSUP #2016-0035  
SUP #2017-0016  
1 & 2 King Street  
Interim Fitzgerald Square

12. The applicant shall require its contractors (i.e. for the outdoor amusement and food and craft uses) employees who drive to use off-street parking. (T&ES)
13. The applicant shall encourage patrons to park off-street through the provision of information about nearby garages on advertising and on the restaurant’s website. (T&ES)
14. **CONDITION DELETED BY THE PLANNING COMMISSION:** The outdoor amusement contractor will be encouraged to provide a seasonal garage validation program. Discounts may be provided for individuals who park in garages. The details and procedures of this program shall be established prior to the permitting of the outdoor amusement facility. (T&ES) (PC)

**G. Noise**

15. No amplified sounds shall be audible at the property line. (P&Z)(T&ES)

**H. Odors/Air Pollution**

16. The applicant shall control (cooking) odors, smoke and any other air pollution from operations at the site and prevent them from becoming a nuisance to neighboring properties, as determined by the Department of Transportation & Environmental Services. (T&ES)

**I. Deliveries**

17. Supply deliveries, loading, and unloading activities shall not occur between the hours of 11:00pm and 7:00am. (T&ES)

**J. Police Training**

18. The applicant is to contact the Community Relations Unit of the Alexandria Police Department at 703-838-4520 regarding a security survey for the business and robbery readiness training for all employees. (Police)

**K. Review**

19. The Director of Planning and Zoning shall review the Special Use Permit after it has been operational for one year, and shall docket the matter for consideration by the Planning Commission and City Council if (a) there have been documented violations of the permit conditions which were not corrected immediately, constitute repeat violations or which create a direct and immediate adverse zoning impact on the surrounding community; (b) the director has received a request from any person to docket the permit for review as the result of a complaint that rises to the level of a violation of the permit conditions, or (c) the director has determined that there are

39

DSUP #2016-0035  
SUP #2017-0016  
1 & 2 King Street  
Interim Fitzgerald Square

C-1 The existing Fire Department Connection next to Old Dominion Boat Club (west side of building) shall be protected and remain operational during demolition. Add notes to plans indicating that contractor must contact the fire department before removing the standpipe so that a temporary FDC location can be established and the remaining removed piping materials can be stored.

**Code Administration (Building Code):**

F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact the Code Administration Office, Plan Review Supervisor at 703-746-4200.

C-1 New construction or alterations to existing structures must comply with the current edition of the Uniform Statewide Building Code (USBC).

C-2 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to the Department of Code Administration that will outline the steps that will be taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.

**Police**  
No comments.

**Archaeology**

F-1 The property consists of two lots, each had been located within the Potomac River when the City of Alexandria was founded. By the 1780s, a mud flat was in-filled forming a new shoreline to the west of the western boundary of the project area. After the City granted to adjacent landowners the development rights to the newly formed land, two wharves, one on each lot, were constructed into the Potomac River. Known as Ramsay’s and Fitzgerald’s/Irwin’s wharves after long-term owners, both served Alexandria for nearly 150 years. The two wharves were not static during their 150-year existence. Ownership changed, and structures were constructed and demolished with new structures then built. The structures included waiting rooms and offices for steamship and ferry operators and freight warehouses, with the nature of the buildings providing evidence for the function of the two wharves. While the structures appeared to be of small scale through the end of the nineteenth century, a large brick waiting room and office building was constructed on Ramsay’s wharf early in the twentieth century. In the second quarter of the twentieth century, the area between the structures was in-filled. With the in-filling of the two wharves, the Old Dominion Boat Club constructed a club structure and associated parking lot that were separated by King Street Park and an extension of King Street.

**L. Alcohol (On-premises only)**

20. On-premises alcohol service may be offered but off-premises alcohol sales shall be prohibited. (P&Z)

**M. One-Hour Rule**

21. Food ordered before 10:00pm may be sold, but no new alcohol may be served and no new patrons may be admitted after 10:00pm. (P&Z)

problems with the operation of the use and that new or revised conditions are needed. (P&Z)

36

DSUP #2016-0035  
SUP #2017-0016  
1 & 2 King Street  
Interim Fitzgerald Square

F-2 If this project is a federal undertaking or involves the use of any federal funding, the applicant shall comply with federal preservation laws, in particular Section 106 of the National Historic Preservation Act of 1966. The applicant will coordinate with the Virginia Department of Historic Resources and the federal agency involved in the project, as well as with Alexandria Archaeology.

C-1 All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

Asterisks denote the following:

\* Condition must be fulfilled prior to release of the Final Site Plan  
\*\* Condition must be fulfilled prior to release of the building permit  
\*\*\* Condition must be fulfilled prior to opening the park to public use  
\*\*\*\* Condition must be fulfilled prior to project close out

**SPECIAL USE PERMIT #2017-0016**

**A. ~~CONDITION DELETED BY STAFF: Hours of Operation~~**

1. ~~The hours of operation of the Commercial Outdoor Recreational Facility and Outdoor Food and Craft Market shall be limited to between 7:00am and 10:00pm. (P&Z)~~

**B. ~~CONDITION DELETED BY STAFF: Posting Hours~~**

2. ~~The applicant shall post the hours of operation at the entrance. (P&Z)~~

**A. Duration – Outdoor Food & Craft Market**

3. Markets may be held for up to 60 days in duration, and must have a minimum gap or break between the end date of one and the beginning date of the next of seven (7) consecutive days. Markets may not occupy the Interim Fitzgerald Square for more than 180 days total in a single calendar year.

**B. Training**

4. The applicant shall conduct employee training sessions on an ongoing basis, including as part of any employee orientation, to discuss all SUP provisions and requirements, and on how to prevent underage sales of alcohol. (P&Z)

**C. Trash & Garbage**

37

**Interim Fitzgerald Square Park SUP Supplement**

Identify and describe the specific types of uses that may be considered in the future at the interim park:

**Permitted uses**

- Public buildings  
May include temporary bathroom facilities.
- Public parks, playgrounds, athletic fields or other outdoor recreation facilities  
Public seating, picnic area/dining tables and chairs, recreational equipment (yard games, etc.) Small-scale rec games (ping pong tables, horseshoes, corn hole boards, etc.) or mini-sport courts (footsal, etc.). May include site lighting to include light poles along the promenade and catenary or other lighting (refer to site plan).
- Retail and/or service commercial when accessory to a permitted use, provided such retail and/or service commercial does not occupy more than ten percent of the land area of the lot parcel or tract of land.  
Prepared refreshment vending/food carts (by the City or by a vendor). Refer to exhibit for proposed location (Marina Terrace area only – 3,932 SF of accessory use out of 41,069 SF total open space).

**Uses permitted with Special Use Permit approval**

- Commercial outdoor recreation facilities  
Describe: Seasonal skate rink facilities (ice and/or roller skating). Anticipated location within the lawn and flexible plaza area. For ice rinks this would include all power generators, cooling equipment, and ice maintenance equipment necessary to operate and maintain the ice rink. Snack vending/refreshments/food carts, etc., and temporary restroom facilities may be incorporated into or operated by the Commercial Outdoor Recreational Facility vendor, and be independent from above stated Accessory uses accompany such seasonal facilities. Facilities would be appropriately secured or relocated, as needed, to manage flood risk. Commercial Outdoor Recreational Facilities will not not obstruct sidewalk along Strand Street.  
Days and hours of operation: Park hours, 5am – 10pm daily.  
Noise: Power generators, fan blowers, as needed. May be accompanied by acoustic or amplified music or audio from events/movie screenings, etc., in compliance with the City noise ordinance.  
Odors: Generator fumes, food-related (snack/refreshment vending)  
Type of trash: Food-related

2017-1-26 – IFS SUP Supplement

54

DSUP #2016-0035  
SUP #2017-0016  
1 & 2 King Street  
Interim Fitzgerald Square

5. Trash and garbage shall be stored inside or in sealed containers that do not allow odors to escape, invasion by animals, or leaking. No trash or debris shall be allowed to accumulate outside of those containers. Outdoor containers shall be maintained to the satisfaction of the Directors of P&Z and T&ES, including replacing damaged lids and repairing/replacing damaged dumpsters. (P&Z) (T&ES)

**D. Litter**

6. Litter on the site and on public rights-of-way and spaces adjacent to or within 75 feet of the premises shall be picked up at least twice a day and at the close of business, and more often if necessary, to prevent an unsightly or unsanitary accumulation, on each day that the business is open to the public. (T&ES)

**E. Transportation**

7. The Applicant, or the designated contractor, shall require its employees who drive to use off-street parking and/or provide employees who use mass transit with subsidized bus and rail fare media. The applicant shall also post DASH and Metrobus schedules on-site for employees. (P&Z)(T&ES)

**F. Parking**

8. The Applicant, or the designated contractor, shall direct patrons to the availability of parking at nearby public garages and shall participate in any organized program to assist with both employee and customer parking for businesses that is formed as a result of suggested parking strategies in the King Street Retail Strategy. (T&ES)
9. Off-site visitor parking spaces shall be advertised to residents and visitors. At times when the amusement enterprise is in operation, the location of the off-site facility for visitor parking shall be indicated on signage visible from the entrance. Information regarding off-site visitor parking spaces shall be provided in the lease/purchase agreements. (T&ES)
10. The applicant shall participate in any organized program to assist with both employee and customer parking for businesses that is formed as a result of suggested parking strategies in the King Street Retail Strategy (Old Town Area Parking Study). (T&ES)
11. The applicant shall provide information about alternative forms of transportation to access the site, including but not limited to printed and electronic business promotional material, posting on the business website, and other similar methods. Contact Go Alex at [goalex@alexandriava.gov](mailto:goalex@alexandriava.gov) for more information about available resources. (T&ES)

38

DSP2016-0035  
SUP2017-0016  
Application Materials  
3/17/17

- Outdoor food and crafts market  
Describe: Temporary, special events where vendors and/or exhibitors could display, distribute, and/or sell food, snacks, beverages, crafts, etc. which are not applicable under the RPCA Special Events Permit. Examples of Special Events would include weddings and wedding receptions, and/or private and corporate picnics. Special Uses may include temporary tents/shade canopies, tables, chairs, tc.  
Facilities would be appropriate secured or relocated, as needed, to manage flood risk. Program would not obstruct pedestrian traffic/access along Strand Street.  
Days and hours of operation: Park hours, 5am – 10pm daily.  
Noise: Events may be accompanied by acoustic or amplified music or audio from cultural events/movie screenings, in compliance with the City noise ordinance.  
Odors: Generator fumes, food or cooking related.  
Type of trash: Food-related  
On and off premises alcohol: Only as approved by RPCA special event permit, solely for on-premises distribution and consumption, in compliance with Virginia state law/City ordinance, and the appropriate ABC license(s).  
\* All ABC Permits issued on public property may only be obtained by approval from the Director of RPCA through a Special Event Permit, Park Rental Permit, or Memorandum of Understanding. A formal application through RPCA and approval by the RPCA Director is required in advance of submitting for an ABC permit. The VABC Board will evaluate each application separately and the applicant must meet all VABC Board requirements. ABC Permits must be posted and available for review upon request.

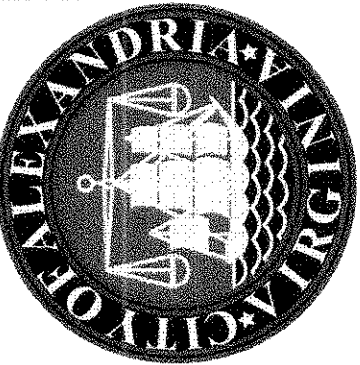
APPROVED SPECIAL USE PERMIT NO. _____ DEPARTMENT OF PLANNING & ZONING	
<u>D. H. Galy</u> DIRECTOR	<u>2-23-18</u> DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. <u>DSP#2016-00035</u>	
<u>Aracelo</u> DIRECTOR	<u>3/5/2018</u> DATE
<u>Manoel J. Lyman</u> CHAIRMAN, PLANNING COMMISSION	<u>2-23-18</u> DATE
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____

NAD83 VIRGINIA STATE PLANES, NORTH ZONE, US FOOT

2017-1-26 – IFS SUP Supplement

55

FINAL PLANS



CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS  
BY DESCRIPTION

DATE

ALEXANDRIA PROJECT NO.: \_\_\_\_\_  
DATE OF PLAN ISSUANCE: \_\_\_\_\_  
CONSULTANT PROJECT ID: \_\_\_\_\_  
DESIGNED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
DRAWN BY: ML DATE: 02/16/18  
CHECKED BY: AG DATE: 02/16/18  
APPROVED BY: AG DATE: 02/16/18

DEVELOPMENT  
CONDITIONS 04

SHEET  
5 OF 31

SCALE NONE

INTERIM FITZGERALD SQUARE – DSP# 2016–00035



PROJECT NARRATIVE

INTERIM FITZGERALD SQUARE WILL CREATE A NEW PUBLIC PARK AND AMENITY SPACE ALONG THE POTOMAC RIVER. REFER TO THE COVER SHEET FOR FURTHER DETAILS.

EXISTING CONDITIONS SURVEY NOTES

- HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983, NAD83  
VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988, NAVD88
- UTILITY INFORMATION, AS SHOWN ON THIS PLAN, IS TAKEN FROM THE RECORDS AND/OR FIELD SURVEY OBTAINED BY THE CITY OF ALEXANDRIA, DATED 01/27/2017; AND CANNOT BE GUARANTEED. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY MISS UTILITY\*AT 1-800-257-7777, 72 HOURS MINIMUM BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.
- LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHOULD DIG TEST PITS BY HAND AT ALL UTILITY CROSSINGS TO VERIFY EXACT LOCATION.

CITY STANDARD GENERAL NOTES

- "CITY" MEANS THE CITY OF ALEXANDRIA, A MUNICIPAL CORPORATION OF VIRGINIA AND ITS AUTHORIZED REPRESENTATIVES AND EMPLOYEES.
- TOTAL SITE AREA: 60,949 SQUARE FEET OR 1.4 ACRES OF WHICH 41,635 SQUARE FEET OR 0.96 ACRES WILL BE DISTURBED WITH THIS PROJECT.
- THE SITE IS LOCATED IN THE POTOMAC RIVER WATERSHED.
- THE SUBJECT PROPERTY LIES WITHIN A CITY OF ALEXANDRIA RESOURCE PROTECTION AREA, DEPICTED ON THE STORMWATER MANAGEMENT PLAN.
- CONSTRUCTION PERMITS ARE REQUIRED FOR THIS PROJECT AND ARE THE CONTRACTOR'S RESPONSIBILITY.
- PUBLIC AND PRIVATE EASEMENTS ARE SHOWN OR KNOWN PUBLIC AND PRIVATE EASEMENTS ARE SHOWN.
- ALL DEMOLITION, REPAIRS, AND NEW CONSTRUCTION WILL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA AND/OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) STANDARDS AND SPECIFICATIONS.
- ALL REPAIRS AND IMPROVEMENTS TO THE CITY RIGHT-OF-WAY SUCH AS CURB, GUTTER, SIDEWALK, AND DRIVEWAY APRONS, ETC., SHALL BE CONSTRUCTED AS PER THE PROJECT TECHNICAL SPECIFICATIONS, PROJECT DETAILS AND THE CITY OF ALEXANDRIA STANDARDS MANUAL.
- ALL STREET CUT AND PATCH WORK LOCATED IN PUBLIC RIGHT-OF-WAYS, REQUIRED FOR ANY UTILITY INSTALLATION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS AND TO THE SATISFACTION OF THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES (T&ES).
- ALL EROSION AND SEDIMENTATION CONTROL SHALL BE PLACED AND MAINTAINED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA AND/OR VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH).
- ANY WORK IN THE PUBLIC RIGHT OF WAY SHALL REQUIRE A SEPARATE PERMIT FROM THE CITY.
- COMPACTION OF BACKFILL IN UTILITY TRENCHES SHALL BE IN ACCORDANCE WITH THE CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS.
- ALL STORM SEWERS SHALL BE CONSTRUCTED TO THE CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS.
- ALL WATER FACILITY DEMOLITION, CAPPING, AND CONSTRUCTION SHALL CONFORM TO VIRGINIA AMERICAN WATER COMPANY STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL CONTACT VIRGINIA AMERICAN WATER COMPANY AT (703) 549-7080 TO COORDINATE CONSTRUCTION AND INSPECTION OF WATER FACILITIES.
- THERE IS NO OBSERVABLE EVIDENCE OF CEMETERIES OR BURIAL GROUNDS ON THIS PROPERTY.
- SHOULD UTILITY CONSTRUCTION BE PERFORMED AFTER COMPLETING EARTHWORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACHIEVING 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1551) COMPACTION IN ALL TRENCH BACKFILL.

UTILITY WORKS

- NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME. ALL EXCAVATED MATERIAL TO BE REPLACED INTO TRENCH SHALL BE STOCKPILED ON THE HIGH SIDE OF THE TRENCH. IF ANY TRENCH WORK WILL REMAIN OPENED AFTER THE END OF THE WORKDAY, ALL NEEDED EROSION AND SEDIMENT CONTROLS SHALL BE EMPLOYED. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION, AND AS DETERMINED BY THE CITY OF ALEXANDRIA.
- STATE LAW MANDATES THE NOTIFICATION OF UTILITY OWNERS 48 HOURS IN ADVANCE OF EXCAVATION. FOR LOCATION OF UTILITIES CALL:

UTILITY OWNERS	TELEPHONE
DOMINION VIRGINIA POWER	703-838-2478
VERIZON COMMUNICATIONS	703-212-5261
COMCAST	703-926-0534
WASHINGTON GAS	703-750-4256
PEPCO	202-833-7500
VIRGINIA AMERICAN WATER	703-706-3889
SANITARY SEWER - CITY OF ALEX.	703-746-4014
- CONTRACTOR SHALL CONFORM TO THE OVERHEAD HIGH VOLTAGE ACT (EFFECTIVE JULY 1, 2003) AND SHALL CONTACT THE NECESSARY AUTHORITIES PRIOR TO START OF CONSTRUCTION.

DEMOLITION NOTES

- NO DEMOLITION CAN BEGIN UNTIL ALL EROSION AND SEDIMENT CONTROLS ARE IN PLACE, AND IS APPROVED BY AN EROSION AND SEDIMENT CONTROL INSPECTOR OF THE CITY.
- ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE MOST CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS, INCLUDING BUT NOT LIMITED, TO ENVIRONMENTAL PROTECTION AGENCY (EPA), OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), VIRGINIA OCCUPATIONAL AND SAFETY HEALTH COMPLIANCE PROGRAM (VOSH ENFORCEMENT), VIRGINIA OVERHEAD HIGH VOLTAGE LINE SAFETY ACT, NATIONAL EMISSIONS STANDARDS FOR HAZARDOUS AIR POLLUTANTS (NESHAPS), AND NATIONAL INSTITUTE OF OCCUPATIONAL SAFETY AND HEALTH (NIOSH).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK WITH REPRESENTATIVE UTILITY COMPANIES AND FOR THE IMPLEMENTATION OF REQUIRED UTILITY-RELATED WORK.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CITY UPON ENCOUNTERING ANY HAZARDOUS MATERIALS DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL DOCUMENT SAME TO THE CITY AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
- DISCONNECTION OF SERVICES AND SYSTEMS SUPPLYING UTILITIES TO BE ABANDONED OR DEMOLISHED SHALL BE COMPLETED PRIOR TO OTHER SITE DEMOLITION IN FULL COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, AND THE REQUIREMENTS OF UTILITY PURVEYORS HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE UTILITY PURVEYORS, AND PROCUREMENT OF ALL NECESSARY PERMITS.
- PRIOR TO REMOVAL OF MATERIALS OVER EXISTING UTILITY SYSTEMS, THE CONTRACTOR SHALL DOCUMENT EXISTING CONDITIONS AND, IF AT VARIANCE WITH CONDITIONS AS REPRESENTED ON THE PLANS, NOTIFY THE CITY AND OBTAIN DIRECTIONS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
- PRIOR TO COMMENCING NEW WORK, THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING ADJACENT AREAS. ALL ADJACENT AREAS DAMAGED DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE CITY.
- THE CONTRACTOR SHALL BACKFILL EXCAVATED AREAS WITH APPROVED MATERIALS AS PER THE REQUIREMENTS OF THE CITY.
- THE CONTRACTOR SHALL PROTECT AND PREVENT DAMAGE TO EXISTING ON-SITE UTILITY DISTRIBUTION FACILITIES EXCEPT AS OTHERWISE NOTED. ACTIVE UTILITY DISTRIBUTION FACILITIES ENCOUNTERED DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES SHALL BE SHUT OFF AT THE SERVICE MAIN WITH THE APPROVAL OF THE CITY.
- DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CITY UPON ENCOUNTERING ANY EXISTING UTILITIES AND/OR UTILITY SYSTEM STRUCTURES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL PROTECT AND DOCUMENT SAME TO THE CITY AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
- THE CONTRACTOR SHALL EXERCISE CAUTION WHILE DEMOLISHING NEXT TO EXISTING UTILITIES AND STRUCTURES. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE CITY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL ITEMS AS INDICATED ON THE PLANS AND SPECIFICATIONS.
- EXISTING CONSTRUCTION SHALL BE REMOVED TO NEAREST JOINT. NEW CONSTRUCTION SHALL BE PROVIDED AS SHOWN AND ANY DAMAGED AREA SHALL BE REPAIRED TO MATCH CONDITIONS EXISTING PRIOR TO CONSTRUCTION.

PRESERVATION AND PROTECTION OF EXISTING VEGETATION

- VEGETATION TO BE REMOVED SHALL BE APPROVED BY THE CITY ARBORIST.
- PROVIDE, IMPLEMENT AND FOLLOW A TREE CONSERVATION AND PROTECTION PROGRAM THAT IS DEVELOPED TO THE SATISFACTION OF THE CITY ARBORIST.
- LOCATION AND METHOD FOR PROTECTION AND PRESERVATION OF EXISTING TREES ARE ON THE DEMOLITION PLAN AND THE SEDIMENT AND EROSION CONTROL PLAN.
- PROVIDE PROTECTION OF EXISTING VEGETATION IN COMPLIANCE WITH LANDSCAPE GUIDELINES OF THE CITY OF ALEXANDRIA.
- LOCATION AND METHOD FOR PROTECTION AND PRESERVATION OF EXISTING TREES SHALL BE APPROVED IN-FIELD BY THE CITY ARBORIST PRIOR TO COMMENCEMENT OF GROUND DISTURBING ACTIVITY.
- THE EROSION AND SEDIMENT CONTROL PLAN "SEQUENCE OF CONSTRUCTION" PROVIDES DETAILS REGARDING THE PERIMETER CONTROLS TO PROJECT EXISTING VEGETATION. (REFER TO E&S DETAILS AND NOTES SHEET)
- TREE PROTECTION SHALL BE PROVIDED WHERE SILT FENCE IS NOT ADEQUATE. PROTECTION SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE DRIP LINE OF THE TREES TO BE SAVED. THE CONTRACTOR WILL CONSULT THE SITE INSPECTOR BEFORE THE CONSTRUCTION STARTS. TREE PROTECTION FENCING MUST BE ESTABLISHED AND APPROVED BY THE CITY ARBORIST BEFORE ANY CLEARING OR CONSTRUCTION CAN BE STARTED. TO THE EXTENT POSSIBLE ALL TREE PROTECTION SHALL BE INSTALLED AT THE DRIP LINE OF THE TREE (S).

RODENT ABATEMENT NOTE

PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT OR LAND DISTURBANCE PERMIT, A RODENT ABATEMENT PLAN SHALL BE SUBMITTED TO THE CITY OF ALEXANDRIA BUILDING AND FIRE CODE ADMINISTRATION THAT WILL OUTLINE STEPS THAT WILL BE TAKEN TO PREVENT THE SPREAD OF RODENTS FROM THE CONSTRUCTION SITE TO THE SURROUNDING COMMUNITY AND SEWERS. THE CONTRACTOR CAN CONTACT ALEXANDRIA BUILDING AND FIRE CODE ADMINISTRATION DEPARTMENT AT (703) 838-4644 OR (703) 746-4200 FOR ANY QUESTIONS OR ADDITIONAL INFORMATION.

CONSTRUCTION NOTES

- THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH MAY OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY ACTION AND PROPER STEPS TO PROTECT AND DOCUMENT THE FACILITY AND ASSURE THE CONTINUATION OF SERVICE.
- THE CONTRACTOR SHALL DIG TEST PITS AS REQUIRED FOLLOWING NOTIFICATION AND MARKING OF ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES TEST HOLES TO BE PERFORMED AT LEAST 30 DAYS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE CITY. REDESIGN AND APPROVAL BY REVIEWING AGENCIES SHALL BE OBTAINED, IF REQUIRED.
- THE CONTRACTOR SHALL VISIT THE SITE AND SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING DEMOLITION AND STARTING CONSTRUCTION.
- ALL AREAS, ON OR OFF-SITE, WHICH ARE DISTURBED BY THIS CONSTRUCTION AND WHICH ARE NOT PAVED OR BUILT UPON, SHALL BE ADEQUATELY STABILIZED TO CONTROL EROSION AND SEDIMENTATION. THE MINIMUM ACCEPTABLE STABILIZATION SHALL CONSIST OF PERMANENT GRASS, SEED MIXTURE TO BE AS RECOMMENDED AND APPROVED BY THE CITY. ALL SLOPES 3:1 AND GREATER SHALL BE SODDED AND STAKED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE CITY.
- EXISTING PHYSICAL FEATURES ARE TO BE REMOVED AS REQUIRED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRS TO THE ADJACENT CURB, GUTTER, AND RIGHT-OF-WAY, IF DAMAGED DURING CONSTRUCTION ACTIVITY AS DETERMINED BY THE CITY.
- TOPS OF EXISTING STRUCTURES WHICH REMAIN IN USE ARE TO BE ADJUSTED IN ACCORDANCE WITH THE GRADING PLAN. ALL PROPOSED STRUCTURE TOP ELEVATIONS ARE TO BE VERIFIED BY THE CONTRACTOR WITH THE SITE GRADING PLANS. IN CASE OF CONFLICT, THE GRADING PLAN SHALL SUPERSEDE PROFILE ELEVATIONS. MINOR ADJUSTMENTS TO MEET FINISHED GRADE ELEVATIONS MAY BE REQUIRED.
- CONSTRUCTION STAKEOUT SHALL BE UNDER THE DIRECT SUPERVISION OF A LICENSED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA.
- SMOOTH GRADE SHALL BE MAINTAINED FROM THE CENTERLINE OF THE EXISTING ROAD TO THE PROPOSED ENTRANCE AND/OR CURB & GUTTER TO PRECLUDE THE FORMING OF FALSE AND/OR THE PONDING OF WATER ON THE ROADWAY.
- ALL PAVEMENT MARKING TO MEET THE REQUIREMENTS OF MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
- ALL EROSION CONTROLS SHALL CONFORM TO THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH) AND MUST BE SUBMITTED AND APPROVED BY THE CITY.
- THE CONTRACTOR MUST ENSURE THAT POSITIVE DRAINAGE OCCURS ON SITE TO PREVENT PONDING OR DRAINAGE PROBLEMS ON ADJACENT PROPERTIES.
- CONTRACTOR MUST ENSURE THAT THERE IS NO DISTURBANCE ON ADJACENT PROPERTIES, UNLESS OTHERWISE NOTED ON PLANS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN UTILITY SERVICES AT ALL TIMES DURING CONNECTION AND/OR CONSTRUCTION.
- ANY CHANGES OR DEVIATIONS FROM DESIGN DOCUMENTS, DRAWINGS, SPECIFICATIONS, OR SHOP DRAWINGS REQUIRE APPROVAL OF THE CITY, PRIOR TO IMPLEMENTATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION INCLUDING THE DEVELOPMENT OF TRAFFIC CONTROL PLANS. ALL TRAFFIC CONTROL COSTS FOR ALL STAGES SHALL BE INCLUDED IN THE BID PRICE FOR "MAINTENANCE OF TRAFFIC (LS)." NO LANES SHALL BE CLOSED DURING CONSTRUCTION. IF LANES NEED TO BE CLOSED TO FACILITATE THE CONSTRUCTION THEN THE CONTRACTOR SHALL PROVIDE A LANE CLOSURE PLAN TO THE SATISFACTION OF THE CITY. TEMPORARY PAVEMENT MARKING AND REMOVAL MAY BE REQUIRED AND SHALL BE INCLUDED IN THE BID PRICE FOR "MAINTENANCE OF TRAFFIC (LS)." NO SIDE AND/OR CROSS WALK SHALL BE CLOSED DURING CONSTRUCTION. IF SIDE AND/OR CROSS WALK NEED TO BE CLOSED TO FACILITATE THE CONSTRUCTION THEN THE CONTRACTOR SHALL PROVIDE A SIDE AND/OR CROSS WALK CLOSURE PLAN TO THE SATISFACTION OF THE CITY. ALL ROAD CLOSURES SHALL BE COORDINATED WITH ALEXANDRIA TRANSIT (DASH) WHEN A PRIMARY ROUTE IS AFFECTED.
- THE CONTRACTOR SHALL NOT UTILIZE ON-STREET PARKING. ALL EQUIPMENT AND VEHICLES MUST BE STAGED ON-SITE OR IN OFF-STREET PARKING AREAS.
- ALL CONSTRUCTION MANAGEMENT PLAN (CMP) ELEMENTS WILL BE PERFORMED TO THE SATISFACTION OF THE DIRECTOR OF THE CITY'S DEPARTMENT OF PROJECT IMPLEMENTATION (DPI). GENERAL CMP ELEMENTS ARE INCLUDED THROUGHOUT THE CONTRACT INCLUDING THE GENERAL NOTES, EROSION AND SEDIMENT CONTROL NOTES, EROSION AND SEDIMENT CONTROL PLAN, DEMOLITION PLAN, AND CIRCULATION PLAN. THE CONTRACTOR WILL BE REQUIRED TO PROVIDE SPECIFIC CMP ELEMENTS IN SUPPORT OF EACH PERMIT APPLICATION. PERMIT APPLICATIONS WILL BE REVIEWED BY THE DPI PROJECT MANAGER PRIOR TO SUBMISSION TO THE DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES (T&ES) FOR APPROVAL. ANY QUESTIONS RELATED TO THE CONSTRUCTION MANAGEMENT PLAN SHALL BE DIRECTED TO DPI AT 703-746-4045.

ARCHAEOLOGY NOTES

- CALL ALEXANDRIA ARCHAEOLOGY (703-838-4399) TWO WEEKS PRIOR TO THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT AN INSPECTION SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED.
- CALL ALEXANDRIA ARCHAEOLOGY DEPARTMENT (703-838-4399) IMMEDIATELY IF ANY STONE OR POTTERY, INDIAN ARTIFACTS OR HISTORICAL STRUCTURAL REMAINS, WALL FOUNDATIONS, PRIVES, CISTERNS, ICE WELLS, ETC OR CONCENTRATION OF ARTIFACTS ARE FOUND DURING CONSTRUCTION WORK. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE TO RECORD THE FINDS.
- THE APPLICANT MUST NOT ALLOW METAL DETECTION TO BE CONDUCTED ON THE PROPERTY UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.
- IF DURING DEMOLITION THE CONTRACTOR DISCOVERS A NEED TO DIG INTO THE UNDERLYING GROUND SURFACE BEYOND SUCH DESCRIBED IN THE PLANS, THE APPLICANT SHALL CALL ALEXANDRIA ARCHAEOLOGY TO MONITOR GROUND DISTURBANCE.

CODE

C-1 ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

NOTES FOR PROPOSED PLANTINGS

- PLANTINGS SHALL BE FURNISHED AND INSTALLED IN COMPLIANCE WITH LANDSCAPE GUIDELINES OF THE CITY OF ALEXANDRIA.
- ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED, ESTABLISHED, AND MAINTAINED IN ACCORDANCE WITH THE 2016 VDOT ROAD AND BRIDGE SPECIFICATIONS.
- PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATIONS, A PRE-INSTALLATION/CONSTRUCTION MEETING WILL BE SCHEDULED WITH THE CITY'S ARBORIST AND LANDSCAPE ARCHITECT TO REVIEW PLANT INSTALLATION PROCEDURES AND PROCESSES.
- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- MAINTENANCE OF ALL TREES AND LANDSCAPE MATERIALS SHALL CONFORM TO THE CITY OF ALEXANDRIA LANDSCAPE GUIDELINES; ACCEPTED INDUSTRY STANDARDS SET FORTH BY THE LANDSCAPE CONTRACTORS ASSOCIATION, AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, THE INTERNATIONAL SOCIETY OF ARBORICULTURE, AND THE AMERICAN NATIONAL STANDARDS INSTITUTE; AND AS OTHERWISE DIRECTED BY THE CITY.

ENVIRONMENTAL SITE ASSESSMENT

- THERE ARE NO TIDAL WETLANDS, TIDAL SHORES, TRIBUTARY STREAMS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS, OR HIGHLY ERODIBLE/PERMEABLE SOILS ASSOCIATED WITH SHORES, STREAMS, OR WETLANDS LOCATED ON THE SITE. FURTHER, THERE ARE NO WETLAND PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT. ADDITIONALLY, THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS ON THE SITE. THE PROJECT IS WITHIN THE RESOURCE PROTECTION AREA (RPA) AND FLOODPLAIN OF THE POTOMAC RIVER. DISCUSSION OF THESE IMPACTS CAN BE FOUND ON THE STORMWATER MANAGEMENT NARRATIVE (SHEET 13) AND THE WATER QUALITY IMPACT ASSESSMENT (WQIA). FINALLY, THE PROJECT IS WITHIN THE HISTORIC SWAMP AREA. THE PROPOSED DESIGN DOES NOT INCLUDE ENCLOSED STRUCTURES OR ENCLOSURES OF ANY KIND.
- THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, DIVISION OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS, AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE, AND CITY REGULATIONS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA NOISE CONTROL CODE TITLE 11, CHAPTER 5, WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS:
  - MONDAY THROUGH FRIDAY FROM 7 AM TO 6 PM AND
  - SATURDAYS FROM 9 AM TO 6 PM.
  - NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYS.
  - PILE DRIVING IS FURTHER RESTRICTED TO THE FOLLOWING HOURS:
    - MONDAY THROUGH FRIDAY FROM 9 AM TO 6 PM AND
    - SATURDAYS FROM 10 AM TO 4 PM.
- THERE ARE NO WELLS OR CONTAMINATED LANDS DOCUMENTED ON SITE. ALTHOUGH EXISTING PAVEMENT AND SUBBASE WILL BE DISTURBED WITH THE PROJECT, THE UNDERLYING SOILS SHALL REMAIN IN PLACE.

FINAL PLANS



CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS	DESCRIPTION
DATE	BY

ALEXANDRIA PROJECT NO.:	
DATE OF PLAN ISSUANCE:	
CONSULTANT PROJECT ID.:	
DESIGNED BY:	
DRAWN BY:	ML DATE: 02/16/18
CHECKED BY:	AG DATE: 02/16/18
APPROVED BY:	AG DATE: 02/16/18

GENERAL NOTES

SHEET  
6 OF 31

SCALE NONE

INTERIM FITZGERALD SQUARE - DSP# 2016-00035

APPROVED

SPECIAL USE PERMIT NO. \_\_\_\_\_

DEPARTMENT OF PLANNING & ZONING

24.6.18

DIRECTOR

2-23-18

DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. DSP#2016-00035

3/5/2018

DIRECTOR

2-23-18

DATE

CHAIRMAN, PLANNING COMMISSION

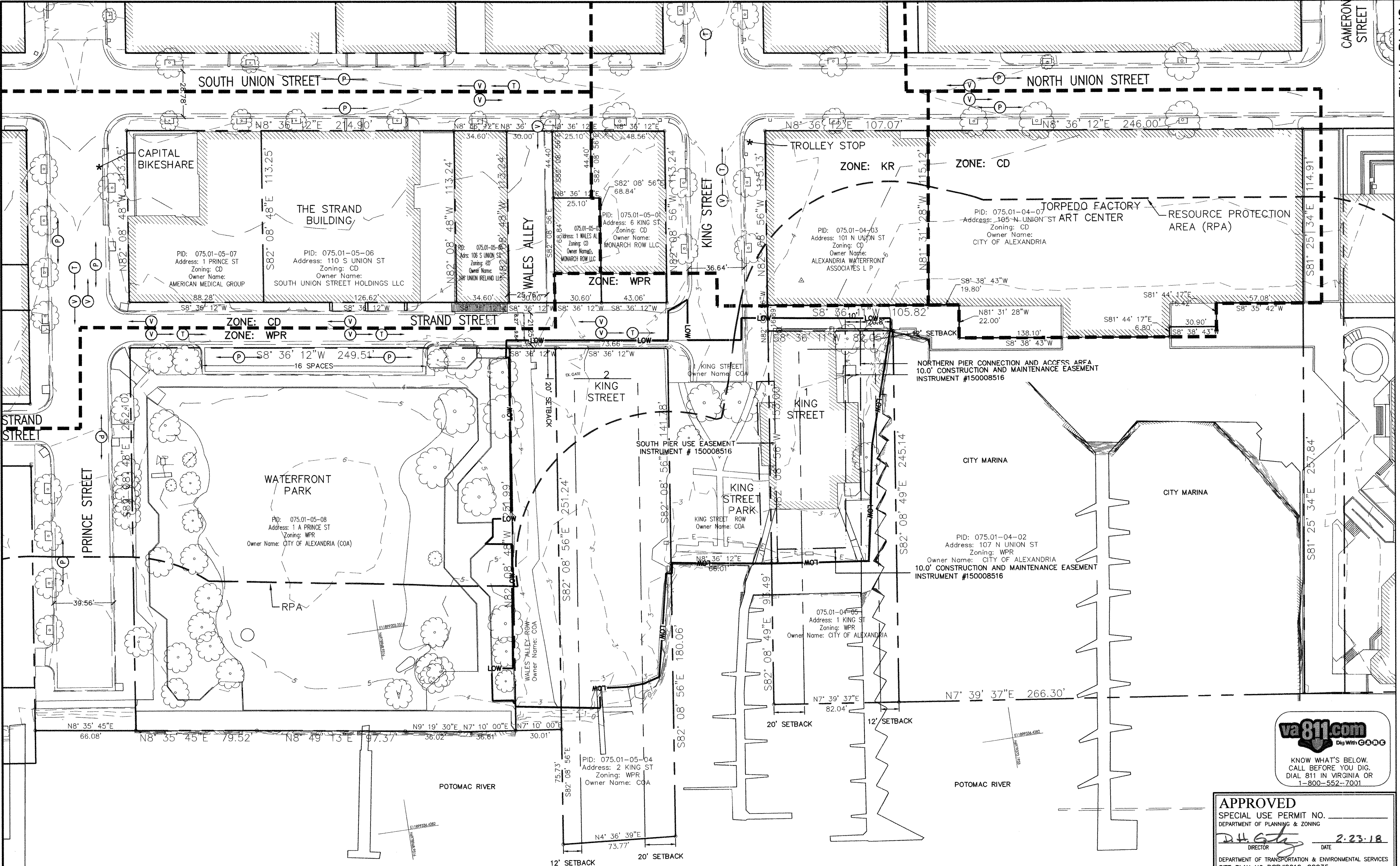
DATE

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

NAD83 VIRGINIA STATE PLANES, NORTH ZONE, US FOOT





- LEGEND:
- (P) PARKING
  - (T) TROLLEY ROUTE CIRCULATION
  - (V) VEHICULAR CIRCULATION

NOTES:

1. THE BASE FLOOD ELEVATION (10.2' NAVD88) IS BEYOND THE VIEW EXTENTS OF THIS SHEET (AND SUBSEQUENT PLANS). ALL EXISTING AND PROPOSED GRADES, WITHIN THE SITE AND ADJACENT AREA, ARE BELOW THIS ELEVATION.



APPROVED

SPECIAL USE PERMIT NO. \_\_\_\_\_

DEPARTMENT OF PLANNING & ZONING

2.23.18

DIRECTOR

3/5/2018

DIRECTOR

2.23.18

CHAIRMAN, PLANNING COMMISSION

3/5/2018

DATE

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_

DEED BOOK NO. \_\_\_\_\_

PAGE NO. \_\_\_\_\_

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FINAL PLANS

INTERIM FITZGERALD SQUARE - DSP# 2016-00035

CONTEXT PLAN

SHEET 7 OF 31

SCALE 1" = 30'

CITY OF ALEXANDRIA, VIRGINIA

DEPARTMENT OF PROJECT IMPLEMENTATION

301 KING STREET

ALEXANDRIA, VIRGINIA 22313

REVISIONS	DATE	DESCRIPTION

ALEXANDRIA PROJECT NO.: \_\_\_\_\_

DATE OF PLAN ISSUANCE: \_\_\_\_\_

CONSULTANT PROJECT ID: \_\_\_\_\_

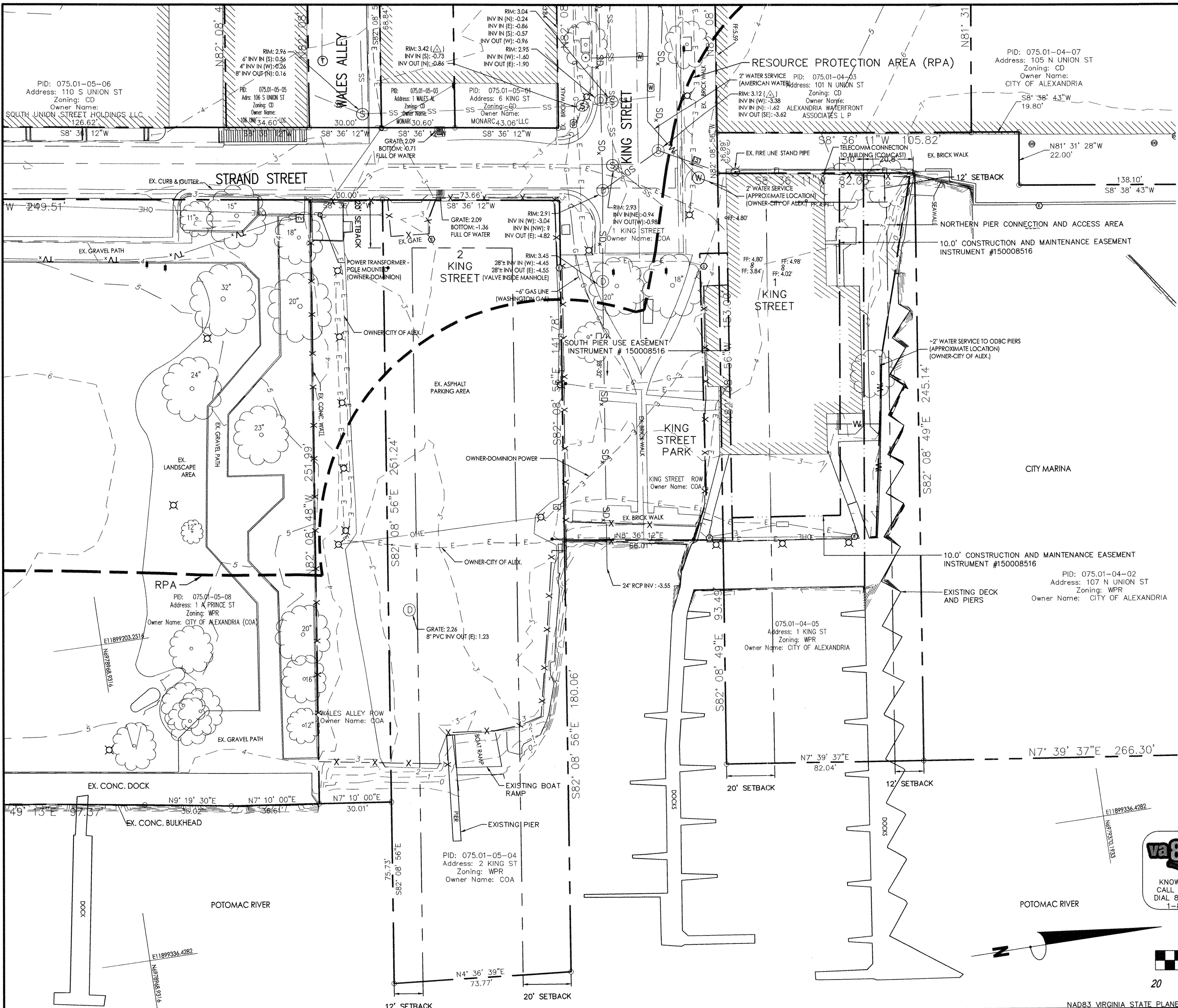
DESIGNED BY: \_\_\_\_\_

DRAWN BY: \_\_\_\_\_

CHECKED BY: \_\_\_\_\_

APPROVED BY: \_\_\_\_\_





**LEGEND**

EXISTING

DECIDUOUS TREE

FENCE

SIGN

BOLLARD

BENCHMARK

LIGHT POLE

FIRE HYDRANT

WATER MANHOLE

WATER METER

WATER VALVE

WATERLINE  
(OWNER-AS NOTED)

SANITARY SEWER MANHOLE  
(OWNER-CITY OF ALEXANDRIA)

SANITARY SEWER  
(OWNER-CITY OF ALEXANDRIA)

CLEANOUT

STORM SEWER MANHOLE  
(OWNER-CITY OF ALEXANDRIA)

STORM SEWER  
(OWNER-CITY OF ALEXANDRIA)

ELECTRIC POWER DEVICE  
(OWNER-DOMINION POWER)

UTILITY POLE  
(OWNER-DOMINION POWER)

UNDERGROUND ELECTRIC LINE  
(OWNER-AS NOTED)

ELECTRIC LINE  
(OWNER-DOMINION POWER)

GUY WIRE

CABLE TV JUNCTION BOX

CABLE TV LINE

UNDERGROUND COMMUNICATIONS LINE

GAS VALVE  
(OWNER-WASHINGTON GAS)

GAS LINE  
(OWNER-WASHINGTON GAS)

RIGHT-OF-WAY/  
PROPERTY LINE

RESOURCE PROTECTION  
AREA (RPA)

FIRE LINE (DRY)

BUILDING

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**APPROVED**  
SPECIAL USE PERMIT NO. \_\_\_\_\_  
DEPARTMENT OF PLANNING & ZONING  
2-23-18  
DIRECTOR DATE  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. DSP#2016-00035  
3/5/2018  
DIRECTOR DATE  
CHAIRMAN, PLANNING COMMISSION DATE  
DATE RECORDED \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**FINAL PLANS**

**CITY OF ALEXANDRIA, VIRGINIA**  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS	DATE	DESCRIPTION

ALEXANDRIA PROJECT NO.:	
DATE OF PLAN ISSUANCE:	
CONSULTANT PROJECT ID:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
APPROVED BY:	

**EXISTING CONDITIONS**

SHEET  
8 OF 31

SCALE 1" = 20'



GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. AN EROSION AND SEDIMENT CONTROL PLAN MUST BE APPROVED BY THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES PRIOR TO ANY LAND DISTURBING ACTIVITY GREATER THAN 2,500 SQUARE FEET.
2. THE CONTRACTORS ARE TO KEEP DENUDED AREAS TO A MINIMUM. AN EROSION AND SEDIMENT CONTROL PLAN IS INCLUDED WITH THESE FINAL PLANS FOR APPROVAL BY T&ES FOR REFERENCE BY THE EROSION AND SEDIMENT CONTROL PERMIT. ALL EROSION / SEDIMENT CONTROL MEASURES WILL CONFORM TO THE CURRENT STANDARDS OF THE CITY OF ALEXANDRIA AND THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH).
3. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH) AND VIRGINIA REGULATIONS §4VAC50-30 EROSION AND SEDIMENT CONTROL REGULATIONS.
4. T&ES MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENTS OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION. CERTIFIED RESPONSIBLE LAND DISTURBER (CRLD) IS REQUIRED TO ATTEND PRE-CONSTRUCTION MEETING.
5. ALL EROSION AND SEDIMENT CONTROL MEASURE ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING. AN INSPECTION BY THE CITY OF ALEXANDRIA IS REQUIRED AFTER INITIAL INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND BEFORE ANY CLEARING OR GRADING CAN BEGIN.
6. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
7. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THESE PLANS INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS, THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE CITY OF ALEXANDRIA.
8. ALL DISTURBED AREAS OF THE SITE NOT TO BE WORKED FOR SEVEN OR MORE CALENDAR DAYS MUST BE STABILIZED.
9. ALL TEMPORARY EARTH BERMS, DIVERSIONS AND SEDIMENT CONTROL DAMS SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED AS SOON AS POSSIBLE BUT NO LATER THAN 48 HOURS AFTER GRADING.
10. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
11. DURING DEWATERING OPERATION, WATER WILL BE PUMPED THROUGH AND APPROVED FILTERING DEVICE.
12. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES DAILY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
13. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR. REFER TO VESCH STANDARD SPECIFICATION 3.31 - TEMPORARY SEEDING FOR TEMPORARY STABILIZATION. PERMANENT STABILIZATION SHALL BE SOD OR OTHER VESCH PERMANENT STABILIZATION AS APPROVED BY THE CITY.
14. ANY STOCKPILED MATERIAL WHICH WILL REMAIN IN PLACE LONGER THAN 10 DAYS IS TO BE SEEDED FOR TEMPORARY VEGETATION AND MULCHED WITH STRAW MULCH OR OTHERWISE STABILIZED.
15. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION AND AS DETERMINED BY THE CITY OF ALEXANDRIA.
16. ANY DENUDED SLOPES, EITHER DISTURBED OR CREATED BY THIS PLAN THAT EXCEED 2500 SQUARE FEET SHALL BE SODDED AND PEGGED FOR STABILITY AND EROSION CONTROL. AT THE COMPLETION OF THE PROJECT AND PRIOR TO THE RELEASE OF THE BOND ALL DISTURBED AREAS SHALL BE STABILIZED PERMANENTLY AND ALL TEMPORARY EROSION AND SEDIMENT CONTROLS SHALL BE REMOVED.
17. AT THE COMPLETION OF THE PROJECT AND PRIOR TO THE RELEASE OF THE BOND ALL DISTURBED AREAS SHALL BE STABILIZED AND ALL TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE REMOVED.
18. SEE POLLUTION PREVENTION NOTES FOR ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES.

POLLUTION PREVENTION NOTES

1. ALL SAW CUTTING AND DEMOLITION MUST INCLUDE WATER FOR DUST SUPPRESSION. INLETS MUST BE PROTECTED AND SLURRY MUST NOT ENTER THE STORM INLET. WASTE MATERIALS MUST BE COLLECTED USING DRY TECHNIQUES (SHOVEL, BROOM, ETC.) AND NOT WASHED DOWN THE INLETS.
2. ENSURE THE STAGING/STORAGE/APPLICATION/CLEAN-UP OF GAS, CHEMICALS, AND OILS (INCLUDING FORM RELEASE OIL) IS SUCH AS TO PREVENT BEING WASHED DOWN THE INLETS.
3. ENSURE DISCHARGE OF SOAPS, SOLVENTS, DETERGENTS, WASH WATER AND CONSTRUCTION MATERIALS, INCLUDING THE CLEAN-UP OF STUCCO, VEHICLE AND EQUIPMENT WASH WATER, PAINT, FORM RELEASE OILS AND CURING COMPOUNDS (COVER, PLASTIC SHEETING OR TEMPORARY ROOFS) AND PROVIDE COLLECTION AND PROPER DISPOSAL TO PREVENT CONTACT WITH STORMWATER.
4. CONTRACTOR SHALL EXERCISE EFFORT TO PREVENT THE DISCHARGE OF FUELS, OILS AND OTHER PETROLEUM PRODUCTS, HAZARDOUS OR TOXIC WASTES, SANITARY WASTES, SPILLED AND LEAKED FUELS/CHEMICALS FROM VEHICLES AND EQUIPMENT (I.E. SPILL KITS, SPILL CONTAINMENT, ETC.).
5. CONTRACTOR TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM STORAGE, HANDLING AND DISPOSAL OF CONSTRUCTION PRODUCTS; BUILDING PRODUCTS; PESTICIDES, HERBICIDES, INSECTICIDES, FERTILIZERS AND LANDSCAPE MATERIAL; AND DOMESTIC WASTES.
6. CONTRACTOR TO PROVIDE PROPOSED LOCATION OF CONCRETE MIXING TO BE APPROVED BY THE CITY.
7. CONTRACTOR TO DIRECT CONCRETE WASH WATER INTO A LEAK-PROOF CONTAINER OR LEAK-PROOF SETTLING BASIN, WITH HARDENED CONCRETE WASTES AND LIQUID CONCRETE WASTES PROPERLY DISPOSED OF AS CONSTRUCTION WASTES.
8. TO REPORT LEAKS, SPILLS AND OTHER RELEASES, CONTACT:

FIRE DEPARTMENT  
T&ES

703-838-4660  
703-746-4065

FOR HAZARDOUS DISCHARGES  
FOR DISCHARGES TO STORM SEWER

DEQ NORTHERN VIRGINIA  
REGIONAL OFFICE

703-583-3870

FOR PETROLEUM THAT REACHES SURFACE WATER  
DURING NORMAL HOURS

VIRGINIA DEPARTMENT OF  
EMERGENCY MANAGEMENT

1-800-468-8892

FOR PETROLEUM THAT REACHES SURFACE WATER  
24 HOUR

SEQUENCE OF CONSTRUCTION

1. INSTALL PERIMETER EROSION AND SEDIMENT CONTROLS AND STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON THIS PLAN.
2. INSTALL INLET PROTECTION AT EXISTING STORM DRAIN INLETS AS NECESSARY AND AS SHOWN ON THIS PLAN.
3. CONDUCT DEMOLITION AND CONSTRUCTION ACTIVITIES ACCORDING TO THE APPLICABLE PLANS.
4. AS CONTRIBUTORY DRAINAGE AREAS ARE STABILIZED AND WITH THE PERMISSION OF THE EROSION AND SEDIMENT CONTROL INSPECTOR, REMOVE INDIVIDUAL EROSION AND SEDIMENT CONTROL PRACTICES.
5. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL PRACTICES AS NECESSARY AND AS DIRECTED BY THE EROSION AND SEDIMENT CONTROL INSPECTOR.
6. UPON COMPLETION OF DEMOLITION, CONSTRUCTION AND LAND DISTURBING ACTIVITIES AND WITH THE APPROVAL OF THE EROSION AND SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING EROSION AND SEDIMENT CONTROL PRACTICES AND PROVIDE PERMANENT STABILIZATION ACCORDING TO APPROVED METHODS.
7. CONSTRUCTION DEBRIS MUST BE REMOVED TO AN APPROVED LANDFILL WITH ADEQUATE FREQUENCY IN ACCORDANCE WITH THE VIRGINIA STATE LITTER CONTROL ACT.

EROSION AND SEDIMENT CONTROL NARRATIVE

PROJECT DESCRIPTION

THE PROPOSED DEVELOPMENT, KNOWN AS INTERIM FITZGERALD SQUARE, WILL CREATE A TEMPORARY CITY PARK AT THE EASTERN TERMINUS OF KING STREET, FOLLOWING THE MOVE OF THE OLD DOMINION BOAT CLUB (ODBC). THE PROJECT CONSISTS OF THE DEMOLITION OF AN EXISTING BUILDING/PARKING LOT AREA AND CONVERSION INTO A PROPOSED MARINA TERRACE, LAWN, FLEXIBLE PLAZA AND RIVER TERRACE.

EXISTING CONDITIONS

THE EXISTING CONDITION IS THE OLD DOMINION BOAT CLUB (ODBC) BUILDING AND THE ASSOCIATED PARKING LOT, LAWN, AND PEDESTRIAN PATHS. THE EXISTING SOILS ARE DESCRIBED IN THE GEOTECHNICAL REPORT AS A COMBINATION OF CLAY, SAND, GRAVEL, TOPSOIL, AND CONSTRUCTION DEBRIS PLACED SOMETIME AFTER 1749 AS THE WATERFRONT WAS DEVELOPED. BELOW THE EXISTING FILL, THERE ARE ALLUVIAL DEPOSITS CONSISTING OF BOULDERS, GRAVEL, AND MUD. THE USDA SOIL SURVEY LISTS THE LAND AS "URBAN LAND-GRIST MILL".

CRITICAL AREAS

THE PROPOSED MARINA TERRACE WILL BE CONSTRUCTED ON FILL OVER THE EXISTING FOUNDATION OF THE ODBC BUILDING. THE SOIL WILL NOT BE DISTURBED IN THIS AREA. THE PROPOSED LAWN WILL UPGRADE THE EXISTING LAWN BY REMOVING THE MULTIPLE PATHWAYS AND CREATING AN OPEN LAWN SPACE. THE PROPOSED FLEXIBLE PLAZA WILL BE CONSTRUCTED OVER THE DEMOLISHED EXISTING PARKING LOT. THE RIVER TERRACE WILL HAVE AN UPPER AREA THAT IS CONSTRUCTED IN FILL OVER THE EXISTING PARKING LOT PAVEMENT AND A LOWER AREA THAT WILL BE CONSTRUCTED OVER THE DEMOLISHED EXISTING PARKING LOT.

EROSION CONTROL PROGRAM

THE HIGH POINT OF THE PROJECT IS ALONG THE EASTERN EDGE OF THE FLEXIBLE PLAZA, LAWN, AND HALF OF THE MARINA TERRACE. THE SECTIONS THAT DRAIN WEST, FLOW TO AN EXISTING SUMP INLET ALONG STRAND STREET. THE MARINA TERRACE WILL NOT HAVE SOIL DISTURBANCE. THE LAWN CONSTRUCTION SEDIMENT WILL BE CONTROLLED BY A SILT FENCE AND INLET PROTECTION. THE FLEXIBLE PLAZA WILL REMOVE THE EXISTING PAVEMENT, BUT UTILIZE THE EASTERN EDGE OF THE STRAND STREET CURB LINE TO CONTAIN SEDIMENT. THE INLET PROTECTION WILL PROVIDE BACKUP CONTROL. THE SECTIONS THAT DRAIN EAST, FLOW TO THE POTOMAC RIVER. THE SOIL DISTURBANCE AND FILL OUTSIDE OF THE MARINA TERRACE WILL BE CONTROLLED BY SILT FENCE. THE FLEXIBLE PLAZA LOWER AREA WILL REMOVE THE EXISTING PAVEMENT, BUT UTILIZE THE EASTERN EDGE OF THE PAVEMENT REMOVAL TO CONTAIN SEDIMENT. THE INLET PROTECTION AND DOWNSTREAM CHECK DAM WILL PROVIDE BACKUP CONTROL ALONG THE EXISTING PARKING LOT LOW POINTS.

SEDIMENT CONTROL STRATEGIES

1. CONSTRUCTION SHALL BE SEQUENCED SUCH THAT GRADING OPERATION CAN BEGIN AND END AS QUICKLY AS POSSIBLE.

2. AREAS NOT TO BE DISTURBED MUST BE CLEARLY MARKED OR FLAGGED.

3. SEDIMENT TRAPPING MEASURES WILL BE INSTALLED AS A FIRST STEP IN GRADING AND WILL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING INSTALLATION.

4. ANY CLEARING SHALL BE DONE AFTER PERIMETER CONTROLS ARE IN PLACE.

5. GRADING CAN BE PERFORMED ON INSTALLATION OF UTILITIES.

6. ALL VEHICLES SHALL BE CLEANED BEFORE ENTERING ONTO THE PUBLIC RIGHT-OF-WAY.

7. THE WASH WATER FROM THE CONSTRUCTION ENTRANCE SHALL BE FILTERED THROUGH THE PROVIDED SILT FENCE TO ENSURE THAT NO SEDIMENT LADEN RUNOFF IS ALLOWED TO RUNOFF ON TO THE ADJACENT PROPERTY OR THE PUBLIC RIGHT OF WAY.

8. INSTALL SILT FENCE AND TREE PROTECTION, WHERE APPLICABLE.

9. DUST CONTROL SHALL BE ACCOMPLISHED BY TEMPORARY VEGETATIVE COVER AND BY IRRIGATION AS NEEDED.

ROCK CHECK DAM

2 ACRES OR LESS OF DRAINAGE AREA:

1. FILTER CLOTH (OPTIONAL)

2. VDOT #1 COARSE AGGREGATE

3. DOWNSTREAM VIEW

4. FLOW

5. 2-10 ACRES OF DRAINAGE AREA:

6. FILTER CLOTH (OPTIONAL)

7. VDOT #1 COARSE AGGREGATE

8. DOWNSTREAM VIEW

9. FLOW

10. CLASS 1 RIPRAP

11. CLASH 1 RIPRAP

12. CLASH 1 RIPRAP

13. CLASH 1 RIPRAP

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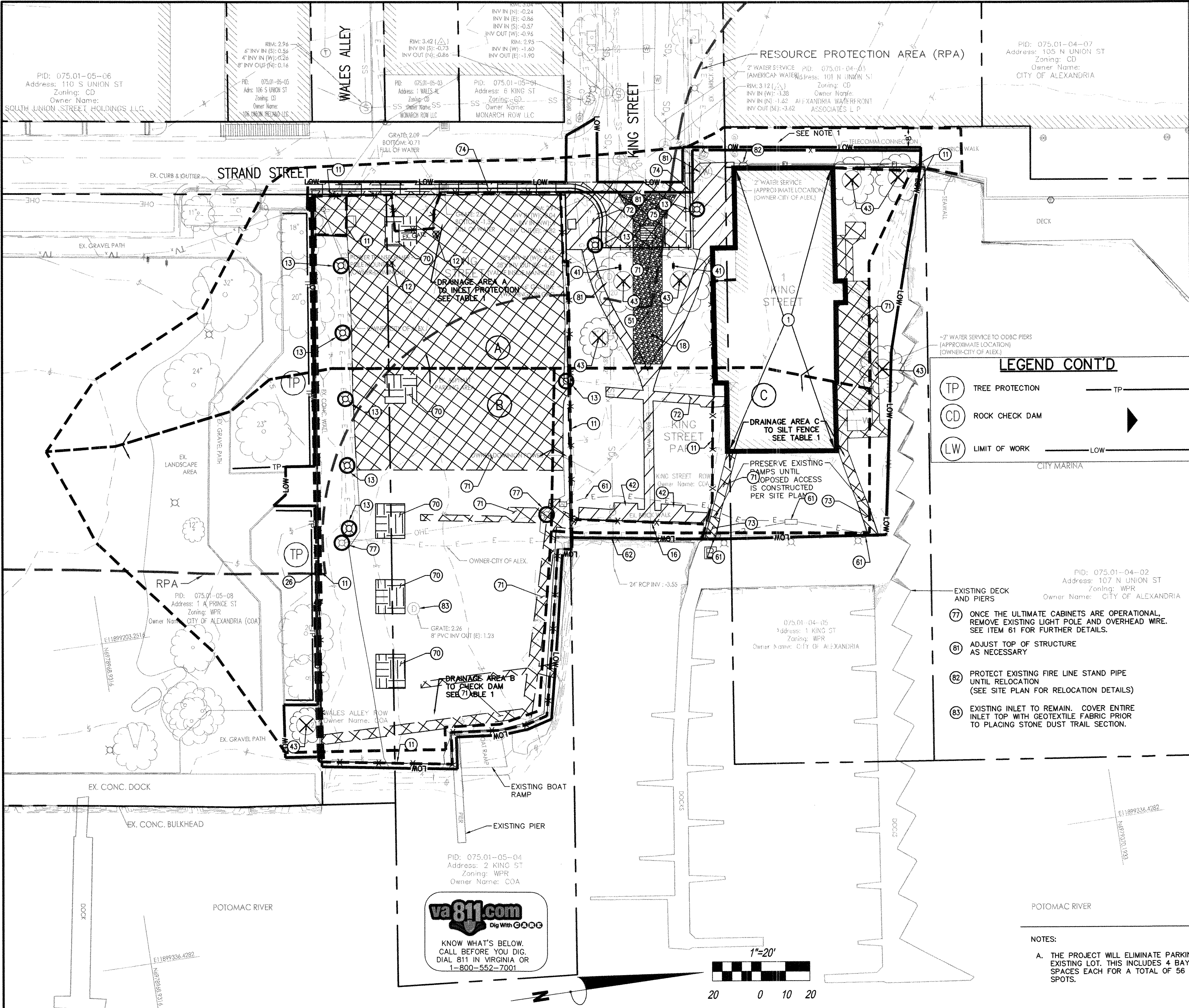
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**LEGEND – ITEMS DEMOLISHED BY DEMO CONTRACTOR OR CITY, AS NOTED**

- 1 EXISTING BUILDING TO BE DEMOLISHED AND REMOVED BY OTHERS (SEPARATE CONTRACT). SEE THE POST DEMOLITION RESTORATION PLAN FOR DETAILS REGARDING THE FOUNDATION.
- 11 EXISTING FENCE TO BE REMOVED BY OTHERS (SEPARATE CONTRACT)
- 12 EXISTING GATE HOLDER, SCAN EQUIPMENT, ELECTRIC POWER, AND RELATED BOLLARDS TO BE REMOVED BY OTHERS (SEPARATE CONTRACT)
- 13 EXISTING LIGHT POLE TO BE REMOVED BY OTHERS (SEPARATE CONTRACT)
- 16 EXISTING HANDRAIL TO BE REMOVED BY OTHERS (SEPARATE CONTRACT)
- 18 EXISTING FLAG POLE FOUNDATION TO BE REMOVED BY OTHERS (SEPARATE CONTRACT)
- 26 EXISTING CONCRETE WALL TO BE REMOVED BY OTHERS (SEPARATE CONTRACT)
- 41 EXISTING SIGN TO BE REMOVED BY OTHERS (THE CITY)
- 42 EXISTING BENCH TO BE REMOVED BY OTHERS (THE CITY)
- 43 EXISTING TREE TO BE REMOVED BY OTHERS (THE CITY)
- 51 EXISTING ANCHOR TO BE REMOVED BY OTHERS (ODBC)

**LEGEND CONT'D**

- TP TREE PROTECTION
- CD ROCK CHECK DAM
- LW LIMIT OF WORK

**LEGEND – ITEMS DEMOLISHED BY SITE CONTRACTOR**

- 61 PROTECT TEMPORARY ELECTRICAL CABINETS, AND ELECTRICAL FEED WIRING FOR THE MARINA PIERS UNTIL THE ULTIMATE ELECTRICAL CABINETS ARE OPERATIONAL. THE ULTIMATE ELECTRICAL CABINETS WILL BE CONSTRUCTED BY OTHERS (SEPARATE CONTRACT). ONCE THE ULTIMATE CABINETS ARE OPERATIONAL, CONTRACTOR TO REMOVE TEMPORARY CABINETS, FOUNDATION SLAB AND SURROUNDING TEMPORARY FENCE. CONTRACTOR TO COORDINATE THEIR SCHEDULE WITH THE ELECTRICAL CABINET CONTRACTOR. THE CITY CAN PROVIDE CONTACT INFORMATION UPON REQUEST.
- 62 PROTECT EXISTING HANDRAIL THAT IS CLOSEST TO POTOMAC RIVER
- 70 REMOVE EXISTING PAVEMENT AND SUBBASE
- 71 REMOVE EXISTING PAVEMENT
- 72 REMOVE EXISTING BRICK SIDEWALK
- 73 FOLLOWING CONSTRUCTION OF PROPOSED RAMP ON SITE PLAN, REMOVE EXISTING COMPOSITE DECK RAMP.
- 74 REMOVE EXISTING CURB AND GUTTER
- 75 REMOVE EXISTING CURB

**APPROVED**  
SPECIAL USE PERMIT NO. \_\_\_\_\_  
DEPARTMENT OF PLANNING & ZONING  
DESIGNED BY: *D.H. Galt* DATE: *2-23-18*  
DIRECTOR  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. DSP#2016-00035  
DRAWN BY: *Joele* DATE: *3/5/2018*  
DIRECTOR  
CHAIRMAN, PLANNING COMMISSION DATE: *2-23-18*  
DATE RECORDED \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

NOTES:  
A. THE PROJECT WILL ELIMINATE PARKING IN THE EXISTING LOT. THIS INCLUDES 4 BAYS WITH 14 SPACES EACH FOR A TOTAL OF 56 PARKING SPOTS.

**FINAL PLANS**

**CITY OF ALEXANDRIA, VIRGINIA**  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS

DATE	DESCRIPTION

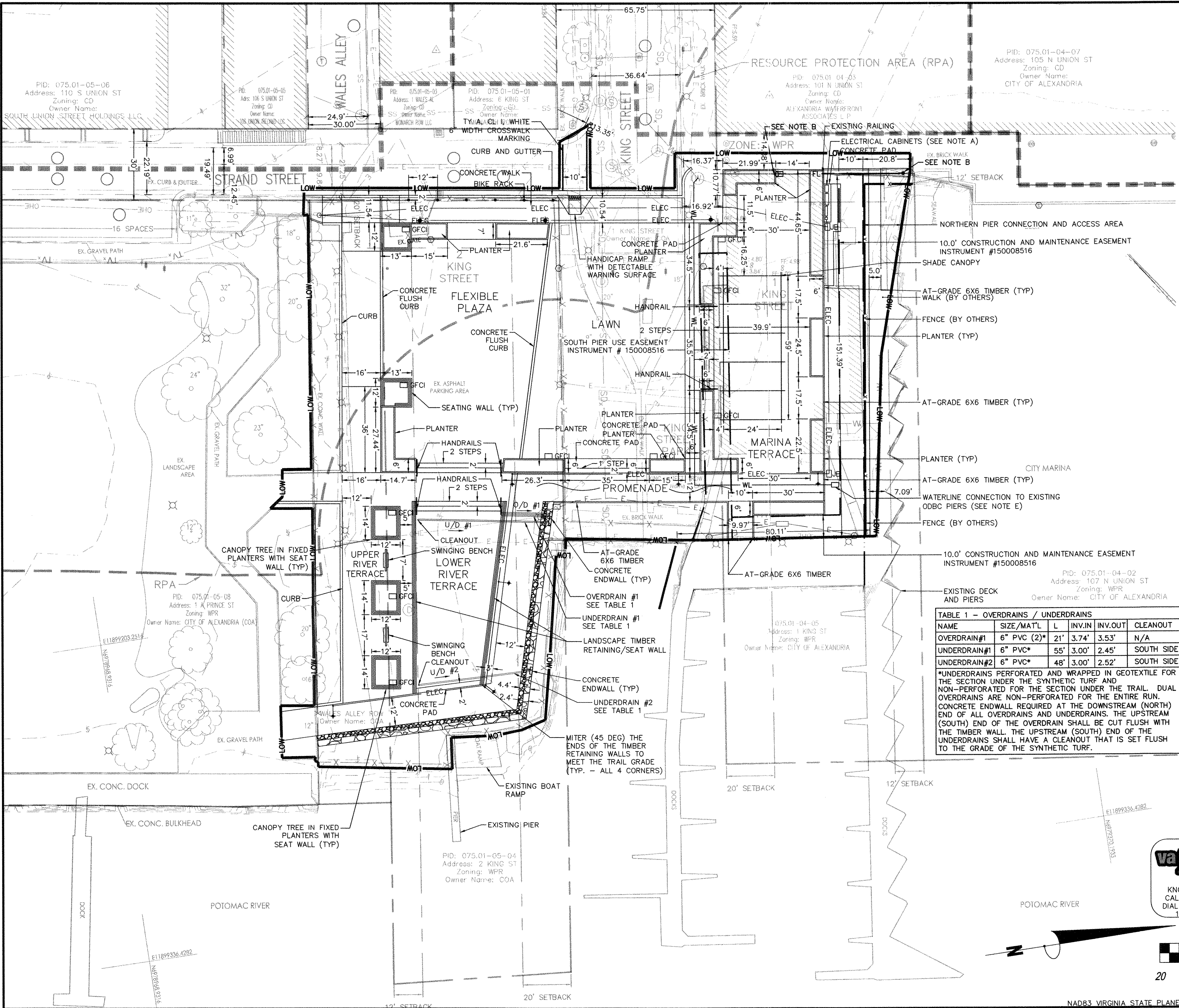
ALEXANDRIA PROJECT NO.: \_\_\_\_\_  
DATE OF PLAN ISSUANCE: \_\_\_\_\_  
CONSULTANT PROJECT ID: \_\_\_\_\_  
DESIGNED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

**DEMOLITION PLAN**

SHEET  
11 OF 31  
SCALE 1" = 20'







LEGEND

- PROPOSED LIGHTING - SINGLE HEAD (NOTE F) (OPTION 1 - PROMENADE LIGHTING)
- PROPOSED CITY STANDARD STREETLIGHTS HISTORIC ALEXANDRIA STREET LIGHT LED FIXTURE (BY OTHERS - SEPARATE CONTRACT)
- LIMIT OF WORK
- PROPOSED ELECTRIC LINE (SEE NOTE F)
- PROPOSED ELECTRIC JUNCTION BOX (SEE NOTE F)
- PROPOSED BIKE RACK
- PROPOSED FIRE LINE (SEE NOTE B)
- PROPOSED FIRE LINE STAND PIPE (SEE NOTE B)
- PROPOSED WATER LINE CONNECTION TO ODBC MARINA PIERS (BY OTHERS - SEPARATE CONTRACT, SEE NOTE E)
- PROPOSED SWINGING BENCH
- PROPOSED 2 PLUG WATERPROOF GFCI

NOTES:

- ELECTRICAL CABINETS (ULTIMATE) TO BE CONSTRUCTED UNDER SEPARATE CONTRACT ("MARINA UTILITY IMPROVEMENTS").
- PRIOR TO SUBMISSION OF SHOP DRAWINGS FOR THE PROPOSED FIRE LINE, THE CONTRACTOR TO CONTACT CITY FIRE DEPARTMENT (MAURICE JONES 703-746-4256) TO SET UP A FIELD MEETING. ONCE CONFIRMED BY THE FIRE DEPARTMENT, CONTRACTOR TO UTILIZE THE EXISTING FIRE LINE PIPES TO CONSTRUCT THE PROPOSED FIRE LINE BELOW THE MARINA TERRACE AND PLANTER. THE FIRE LINE STAND PIPE CONNECTION SHALL BE RELOCATED TO THE PROPOSED LOCATION ON THE NORTH SIDE OF THE PLANTER AS SHOWN ON THIS PLAN. A NEW UNDERGROUND CONNECTION VAULT WILL BE REQUIRED AT THE STAND PIPE, JUST NORTH OF THE PLANTER. AT THE NORTH CONNECTION POINT, CONTRACTOR TO LOWER THE PIPE TO MATCH THE ELEVATION OF THE EXISTING LOW POINT. CONTRACTOR TO SUBMIT SHOP DRAWINGS IN PLAN AND PROFILE FOR REVIEW AND APPROVAL BY THE CITY. ALL COSTS SHALL BE INCLUDED IN THE BID PRICE.
- SEE NOTE 1 ON SHEET 3 RELATED TO THE BASIC FLOOD ELEVATION (10.2' NAVD88).
- ALL PROPOSED STEPS ARE CONCRETE.
- WATERLINE CONNECTION TO EXISTING ODBC PIERS TO BE CONSTRUCTED UNDER SEPARATE CONTRACT ("MARINA UTILITY IMPROVEMENTS"). LOCATION OF THE EXISTING WATERLINES TO THE ODBC PIERS TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND MAINTAINED THROUGHOUT CONSTRUCTION. CONTACT THE CITY PRIOR TO EXCAVATION OF THE AREA BETWEEN THE MARINA TERRACE AND ODBC PIERS.
- CONTRACTOR TO FURNISH, INSTALL, AND CONNECT CONDUIT AND WIRE TO CONNECT ELECTRICAL CABINETS TO PROPOSED GFCI'S AND JUNCTION BOXES. ANY ADDITIONAL CONDUIT, WIRE, JUNCTION BOXES, OR OTHER MATERIALS REQUIRED TO INSTALL THE OPTION 1 PROMENADE LIGHTING SHALL BE INCLUDED WITHIN THE COSTS FOR OPTION 1. CONTRACTOR TO SUBMIT SHOP AND PERMIT DRAWINGS FOR REVIEW AND CITY APPROVAL.

OPTIONS:

- PROMENADE LIGHTING
- IRRIGATION SYSTEM
- SITE FURNISHING/FURNITURE
- SHADE STRUCTURE AND CANOPIES

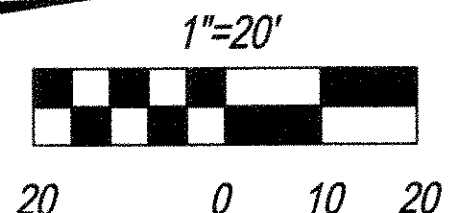
SEE PLAN SHEETS AT THIS END OF THIS PLAN SET FOR DETAILS RELATED TO THE OPTIONS. CITY MAY AWARD ANY OR ALL OPTIONS OR MAKE NO AWARD FOR THESE OPTIONS AT THE SOLE DISCRETION OF THE CITY.

TABLE 1 - OVERDRAINS / UNDERDRAINS					
NAME	SIZE/MAT'L	L	INV.IN	INV.OUT	CLEANOUT
OVERDRAIN#1	6" PVC (2)	21'	3.74'	3.53'	N/A
UNDERDRAIN#1	6" PVC*	55'	3.00'	2.45'	SOUTH SIDE
UNDERDRAIN#2	6" PVC*	48'	3.00'	2.52'	SOUTH SIDE

\*UNDERDRAINS PERFORATED AND WRAPPED IN GEOTEXTILE FOR THE SECTION UNDER THE SYNTHETIC TURF AND NON-PERFORATED FOR THE SECTION UNDER THE TRAIL. DUAL OVERDRAINS ARE NON-PERFORATED FOR THE ENTIRE RUN. CONCRETE ENDWALL REQUIRED AT THE DOWNSTREAM (NORTH) END OF ALL OVERDRAINS AND UNDERDRAINS. THE UPSTREAM (SOUTH) END OF THE OVERDRAIN SHALL BE CUT FLUSH WITH THE TIMBER WALL. THE UPSTREAM (SOUTH) END OF THE UNDERDRAINS SHALL HAVE A CLEANOUT THAT IS SET FLUSH TO THE GRADE OF THE SYNTHETIC TURF.

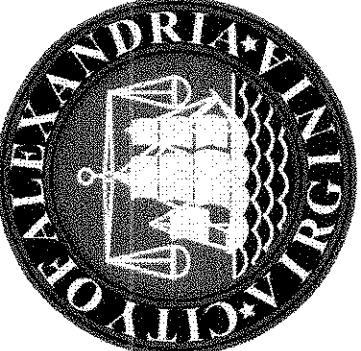


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NAD83 VIRGINIA STATE PLANES, NORTH ZONE, US FOOT

FINAL PLANS



CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS  
BY  
DATE

ALEXANDRIA PROJECT NO.:	
DATE OF PLAN ISSUANCE:	
CONSULTANT PROJECT ID.:	
DESIGNED BY:	ML DATE: 02/16/18
DRAWN BY:	AG DATE: 02/16/18
CHECKED BY:	AG DATE: 02/16/18
APPROVED BY:	AG DATE: 02/16/18

SITE PLAN

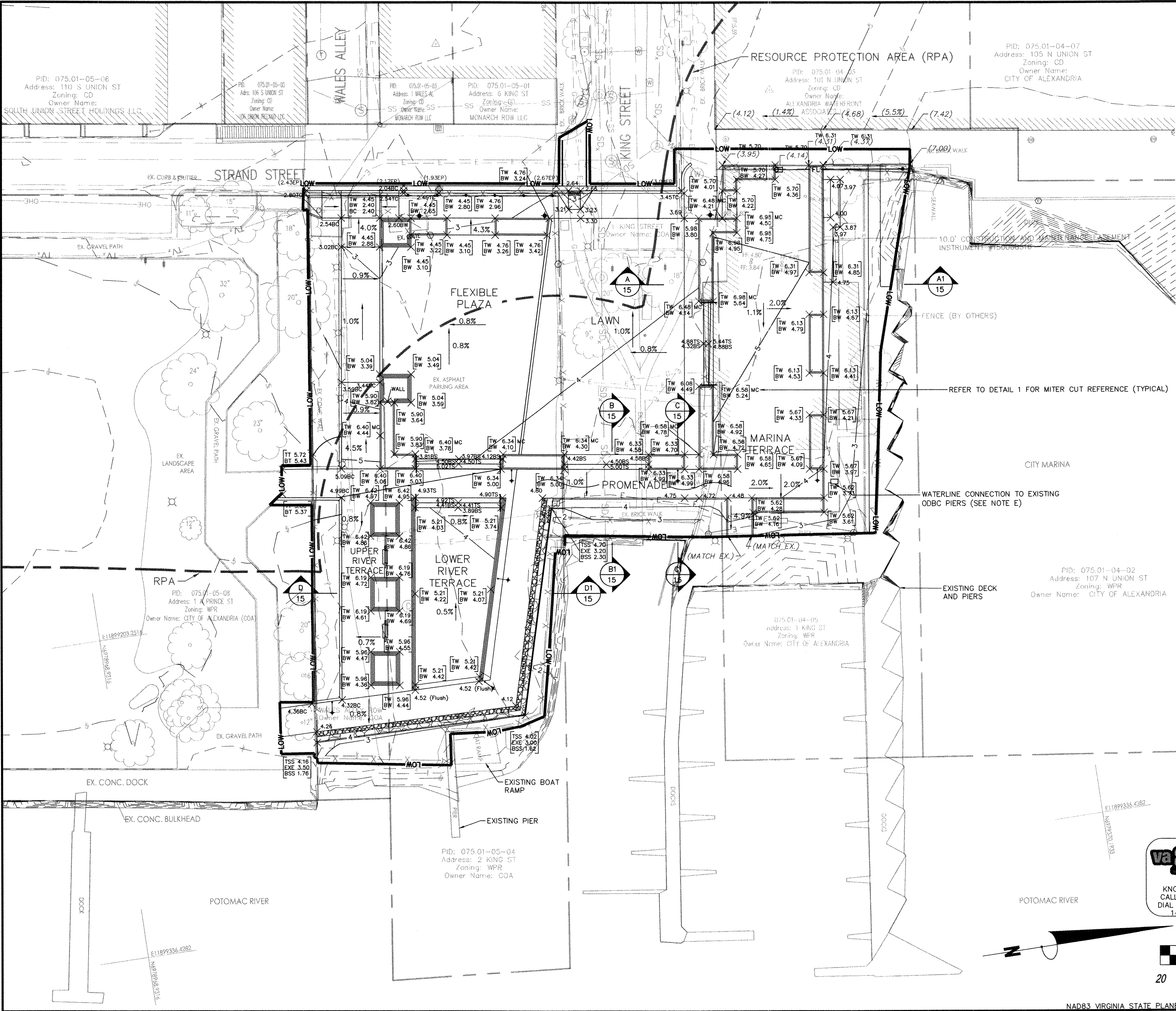
INTERIM FITZGERALD SQUARE - DSP# 2016-00035

APPROVED

SPECIAL USE PERMIT NO. \_\_\_\_\_  
DEPARTMENT OF PLANNING & ZONING  
2.23.18  
DIRECTOR DATE  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. DSP#2016-00035  
3/5/2018  
DIRECTOR DATE  
CHAIRMAN, PLANNING COMMISSION DATE  
DATE RECORDED \_\_\_\_\_  
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SHEET  
12 OF 31  
SCALE 1" = 20'



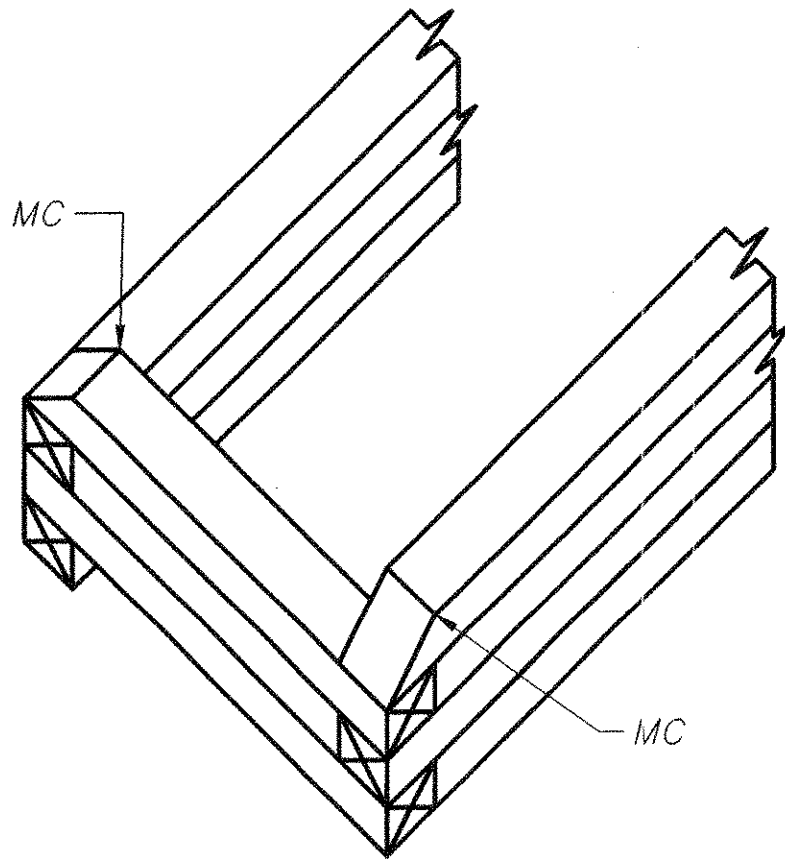


LEGEND

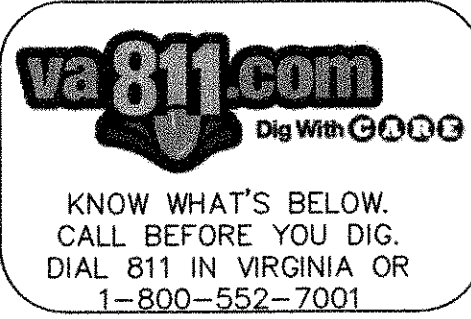
- X.XX PROPOSED ELEVATION (IN FEET)
- (X.XX) EXISTING ELEVATION (IN FEET)
- PROPOSED SLOPE
- (—) EXISTING SLOPE
- BC BOTTOM OF CURB
- TC TOP OF CURB
- BS BOTTOM OF STEP
- TS TOP OF STEP
- BW BOTTOM OF WALL AT SURFACE (SEE NOTE B)
- TW TOP OF WALL
- EP EDGE OF PAVEMENT
- TSS TOP OF STACKED STONE
- EXE EXISTING ELEVATION
- LOW — LIMIT OF WORK
- BSS BOTTOM OF STACKED STONE
- MC MITER CUT (45 DEG), ELEVATION LISTED IS THE TOP ELEVATION OF THE MITER CUT (SEE DETAIL 1)

NOTE:

- A. SEE NOTE 1 ON THE CONTEXT PLAN RELATED TO THE BASE FLOOD ELEVATION (10.2' NAVD88).
- B. THE BOTTOM OF WALL ELEVATION IS THE ELEVATION OF THE ADJACENT PROPOSED SURFACE TO THE FACE OF THE TIMBER WALL. THE CONTRACTOR SHALL CONSTRUCT FOOTER TIMBERS BELOW GRADE TO MEET THE DETAILS SHOWN ON SHEET DETAILS-5. THE DEPTH OF FOOTER TIMBERS SHALL BE INCLUDED ON THE SHOP DRAWINGS SUBMITTED TO THE CITY.

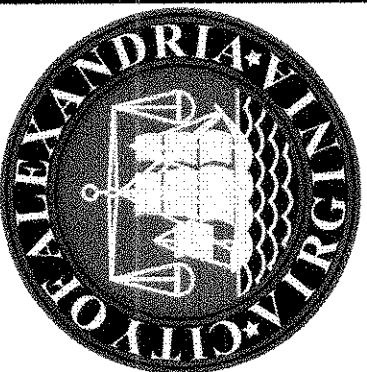


DETAIL 1 - MITER CUT  
NTS



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SPECIAL USE PERMIT NO. \_\_\_\_\_  
DEPARTMENT OF PLANNING & ZONING  
DESIGNED BY: *[Signature]* DATE: 2-23-18  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
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FINAL PLANS



CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS	DESCRIPTION
DATE	BY

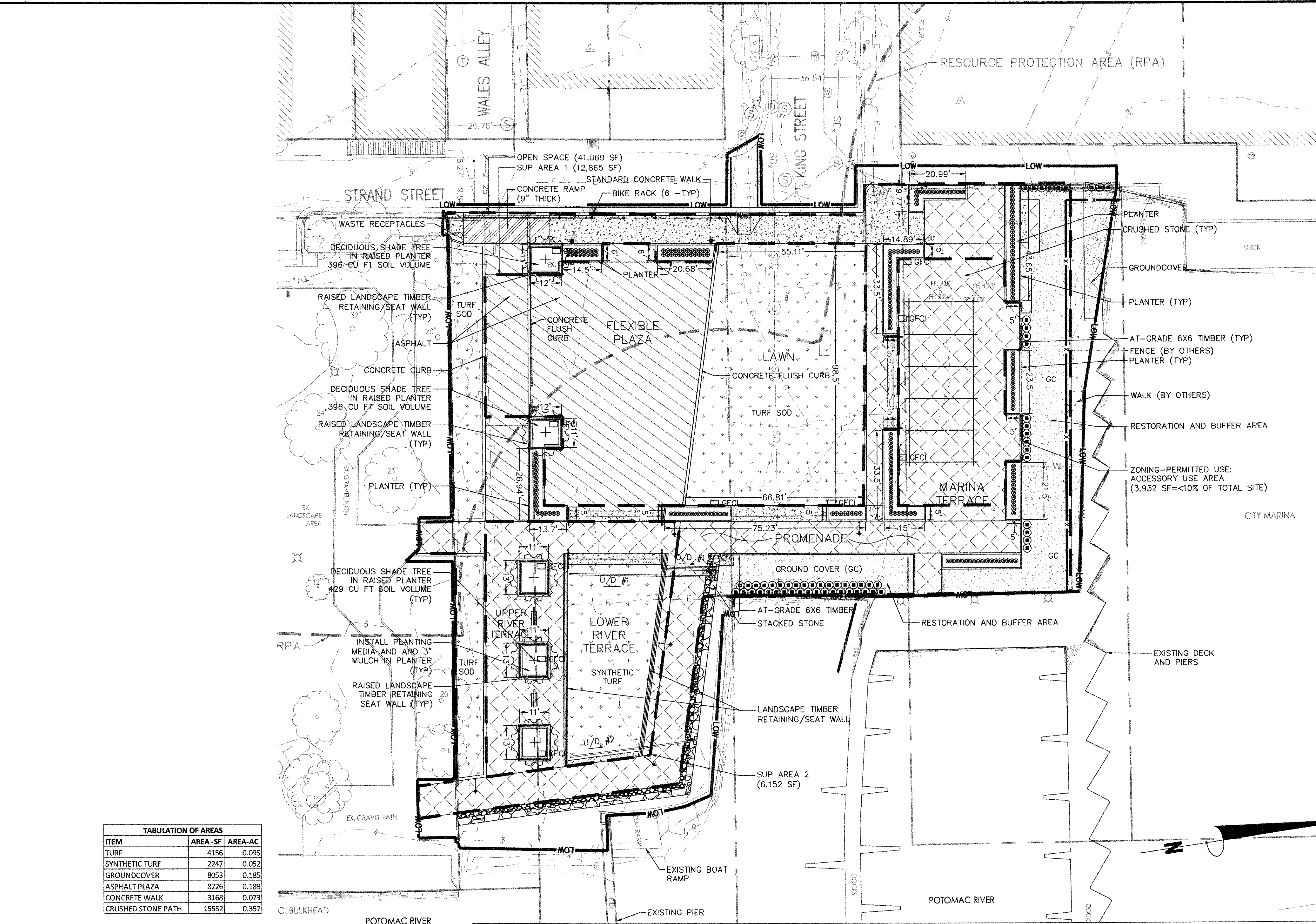
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DATE OF PLAN ISSUANCE:	
CONSULTANT PROJECT ID:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
APPROVED BY:	

GRADING PLAN

SHEET  
13 of 31  
SCALE 1" = 20'

INTERIM FITZGERALD SQUARE - DSP# 2016-00035





**LEGEND**

EXISTING      PROPOSED

DECIDUOUS TREE

GRASSES (SEE NOTE A)

SHRUBS (SEE NOTE A)

TURF (LABELED SOD OR SYNTHETIC)

RESTORATION AND BUFFER AREA  
[GROUND COVER - GC] - NATIVE GRASSES,  
WILDFLOWERS, AND EROSION  
CONTROL MATTING (JUTE MAT)

ASPHALT

CRUSHED STONE - #10 (WASHED)

CONCRETE WALK (4" THICK)

CONCRETE RAMP (9" THICK)

**NOTES:**

A. FOR THE CONSTRUCTION OF SOD, TREES, SHRUBS, GRASSES, GROUNDCOVERS, MULCH, AND PLANTING MEDIA, CONTRACTOR TO MEET THE REQUIREMENTS OF THE 2016 VDOT ROAD AND BRIDGE SPECIFICATIONS. REFER TO SECTIONS 603, 604, AND 605.

B. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.

C. ALL LANDSCAPE MATERIAL SHALL BE INSTALLED PER THE CITY OF ALEXANDRIA LANDSCAPE GUIDELINES.

D. CONTRACTOR TO COORDINATE WITH THE CITY REGARDING NATIVE PLANT SPECIES FOR THE RESTORATION AND BUFFER AREA. SUBMIT SEED MIXES FOR CITY REVIEW AND APPROVAL.

E. PLANTER DIMENSIONS SHOWN ON THIS SHEET REPRESENT THE INTERIOR PLANTER DIMENSIONS FOR SOIL AND PLANTER VOLUME.

F. FURNISH AND INSTALL 2 INCHES OF CLASS B TOPSOIL IN ALL TURF SOD AND RESTORATION AND BUFFER (SEEDED) AREAS PRIOR TO PLACING SOD AND SEED. CLASS A (STOCKPILED) TOPSOIL MEETING VDOT SPECIFICATIONS MAY BE REUSED ON SITE FOR TURF AND SEEDED AREAS.

G. BACKFILL ALL LANDSCAPE PLANTERS AND RAISED PLANTERS WITH CLASS B TOPSOIL MEETING THE USDA SOIL TEXTURE CLASSIFICATION OF SANDY LOAM.

H. INSTALL 3" OF TRIPLE SHREDDED HARDWOOD MULCH IN ALL PLANTERS AND SURROUNDING ALL SHRUB AREAS. MULCH SHALL BE AGED A MINIMUM OF 1 YEAR AND BE FREE FROM DELETERIOUS MATERIALS.

I. INSTALL AND STAKE AND GUY TREES PER THE CITY OF ALEXANDRIA LANDSCAPE GUIDELINES DETAILS. USE WEBBING IN LIEU OF WIRE.

J. INSTALL 100% JUTE MATTING IN RESTORATION/BUFFER AREAS WITH STAPLES OR OTHER MANUFACTURER RECOMMENDED STAKING PRODUCT PER THE MANUFACTURER'S RECOMMENDATIONS. OVERLAP EDGE OF ROLL 12". MESH SIZE SHALL NOT EXCEED 1 SQUARE INCH.

**OPTIONS:**

1. PROMENADE LIGHTING

2. IRRIGATION SYSTEM

3. SITE FURNISHING/FURNITURE

4. SHADE STRUCTURE AND CANOPIES

SEE PLAN SHEETS AT THIS END OF THIS PLAN SET FOR DETAILS. CITY MAY AWARD ANY AND ALL OPTIONS OR MAKE NO AWARD FOR THESE OPTIONS AT THE SOLE DISCRETION OF THE CITY.

TABULATION OF AREAS			
ITEM	AREA - SF	AREA-AC	
TURF	4156	0.095	
SYNTHETIC TURF	2247	0.052	
GROUND COVER	8053	0.185	
ASPHALT PLAZA	8226	0.189	
CONCRETE WALK	3168	0.073	
CRUSHED STONE PATH	15552	0.357	

EXISTING CANOPY COVERAGE			
QTY (EA)	TYPE	CCA*	TOTAL CCA(SF)
5	LARGE SHADE TREE	1250	6,250
1	SMALL ORNAMENTAL	250	250
TOTAL			6,500

CANOPY COVERAGE PROPOSED			
QTY (EA)	TYPE	CCA*	TOTAL CCA(SF)
5	MEDIUM SHADE TREE	750	3,750
TOTAL			3,750

CANOPY COVERAGE REQUIREMENT		
SITE AREA (SF)	% REQUIRED	CANOPY TARGET (SF)
60,949	25%	15,237

NOTE: CANOPY COVERAGE TARGET NOT INTENDED TO BE MET PER THE COUNCIL APPROVED PLAN.

PLANT SCHEDULE						
TREES - LARGE SHADE						
QTY (EA)	KEY	SCIENTIFIC NAME	COMMON NAME	ROOT	SIZE*	HEIGHT
5	BN	BETULA NIGRA	RIVER BIRCH	B&B	2"-2.5"	12'-15'
GRASSES (ORNAMENTAL)						
QTY	KEY	SCIENTIFIC NAME	COMMON NAME	ROOT	SPACING	NOTES
231	MC	MUHLENBERGIA CAPILLARIS	MUHL Y GRASS (PINK)	6" POT	1.5' O.C.	12" MINIMUM
SHRUBS						
QTY	KEY	SCIENTIFIC NAME	COMMON NAME	ROOT	SPACING	NOTES
60	IV	ITEA VIRGINICA (WITH JUTE MATTING)	VIRGINIA SWEETSPIRE	3 GAL	3.5' O.C.	15" MINIMUM
RESTORATION / BUFFER AREA						
QTY (SF)	KEY	SCIENTIFIC NAME	COMMON NAME	ROOT	APPLICATION RATE	NOTES
4156	GC	NATIVE GRASS AND WILDFLOWER BLEND (WITH JUTE MATTING)	SEED&PLUG		PER SEED SUPPLIER	SEED MIX VARIETY AND COMPOSITION - TO BE APPROVED BY RPCA
TURF						
QTY (SF)	KEY	SCIENTIFIC NAME / PRODUCT	COMMON NAME	ROOT	SPACING	NOTES
2247 SF	ASTRO	SYNTHETIC TURF	ASTRO / SYNTHETIC TURF			
8053 SF	TURF	PERENNIAL RYE/TALL FESCUE MIX	TURF SOD			SUBMIT SPECIES COMPOSITION AND SUPPLIER FOR APPROVAL

**APPROVED**

SPECIAL USE PERMIT NO. \_\_\_\_\_

DEPARTMENT OF PLANNING & ZONING

*D.H. G...* 2-23-18

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. DSP#2016-00035

*Approved* 3/5/2018

DIRECTOR DATE

*Thay...* 2-23-18

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**FINAL PLANS**

**CITY OF ALEXANDRIA, VIRGINIA**  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

**REVISIONS**

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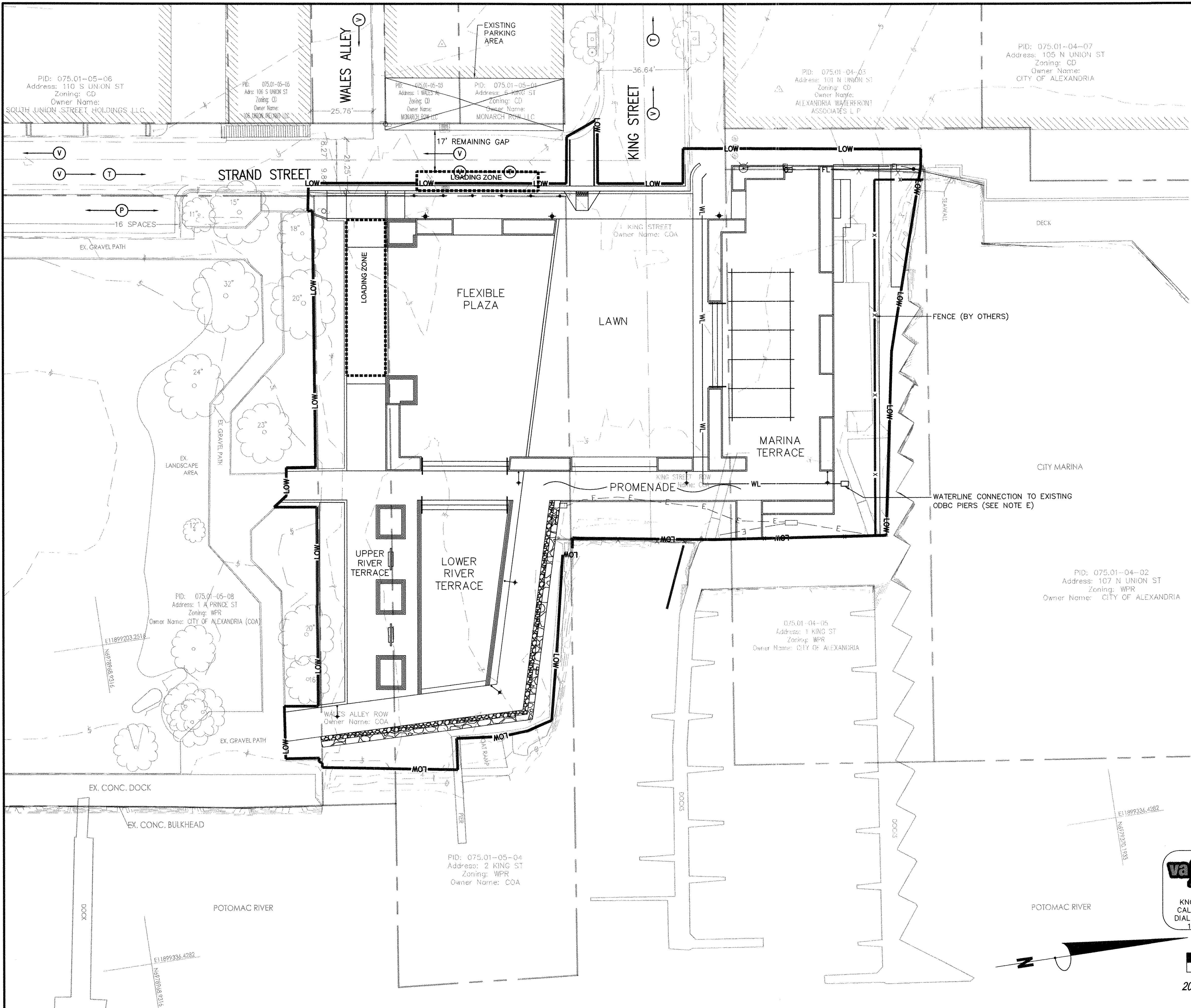
**LANDSCAPE AND MATERIALS PLAN**

**INTERIM FITZGERALD SQUARE - DSP# 2016-00035**

SHEET 14 OF 31

SCALE 1" = 20'





**LEGEND**

EXISTING PARKING AREA

LOADING ZONE

PROPOSED TEMPORARY LOADING ZONE (SPECIAL EVENTS ONLY)

PARKING

TROLLEY ROUTE CIRCULATION

VEHICULAR CIRCULATION

NOTES:

A. CONTRACTOR TO MAINTAIN EXISTING TRAFFIC CIRCULATION THROUGHOUT CONSTRUCTION. SEE GENERAL NOTES, SHEET 2 FOR FURTHER DETAILS.

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DEPARTMENT OF PLANNING & ZONING

DIRECTOR: *D.H.C.* DATE: *2-23-18*

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. *DSP#2016-00035*

DIRECTOR: *[Signature]* DATE: *3/5/2018*

CHAIRMAN, PLANNING COMMISSION: *[Signature]* DATE: *2-23-18*

DATE RECORDED: \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**FINAL PLANS**

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DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

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DATE	BY

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DESIGNED BY: \_\_\_\_\_ DATE: *02/16/18*

DRAWN BY: \_\_\_\_\_ DATE: *02/16/18*

CHECKED BY: \_\_\_\_\_ DATE: *02/16/18*

APPROVED BY: \_\_\_\_\_ DATE: *02/16/18*

**CIRCULATION PLAN**

SHEET 15 OF 31

SCALE 1" = 20'

INTERIM FITZGERALD SQUARE - DSP# 2016-00035



Project Name:

Interim Fitzgerald Square

Date:

9/7/2017

Linear Development Project?

No

CLEAR ALL

(Ctrl+Shift+R)

data input cells

constant values

calculation cells

final results

Site Information

Post-Development Project (Treatment Volume and Loads)

Enter Total Disturbed Area (acres) →0.96

Maximum reduction required:10%

The site's net increase in impervious cover (acres) is:0

Post-Development TP Load Reduction for Site (lb/yr):0.11

Pre-ReDevelopment Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) – undisturbed, protected forest/open space or reforested					0.00
Managed Turf (acres) – disturbed, graded for yards or other turf to be				0.35	0.35
Impervious Cover (acres)				0.61	0.61
					0.96

Post-Development Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) – undisturbed, protected forest/open space or reforested					0.00
Managed Turf (acres) – disturbed, graded for yards or other turf to be				0.37	0.37
Impervious Cover (acres)				0.58	0.58
					0.96

Area CheckOKOKOKOK0.96

Constants

Annual Rainfall (inches)	43
Target Rainfall Event (inches)	1.00
Total Phosphorus (TP) EMC (mg/L)	0.26
Total Nitrogen (TN) EMC (mg/L)	1.86
Target TP Load (lb/acre/yr)	0.41
P1 (unitless correction factor)	0.90

Runoff Coefficients (Rv)

	A Soils	B Soils	C Soils	D Soils
Forest/Open Space	0.02	0.04	0.04	0.05
Managed Turf	0.15	0.20	0.22	0.25
Impervious Cover	0.95	0.95	0.95	0.95

LAND COVER SUMMARY -- PRE-REDEVELOPMENT

Land Cover Summary-Pre		
Pre-ReDevelopment	Listed	Adjusted <sup>1</sup>
Forest/Open Space Cover (acres)	0.00	0.00
Weighted Rv(forest)	0.00	0.00
% Forest	0%	0%
Managed Turf Cover (acres)	0.35	0.35
Weighted Rv(turf)	0.25	0.25
% Managed Turf	36%	36%
Impervious Cover (acres)	0.61	0.61
Rv(impervious)	0.95	0.95
% Impervious	64%	64%
Total Site Area (acres)	0.96	0.96
Site Rv	0.70	0.70

Treatment Volume and Nutrient Load

Pre-ReDevelopment Treatment Volume (acre-ft)	0.0555	0.0555
Pre-ReDevelopment Treatment Volume (cubic feet)	2,415	2,415
Pre-ReDevelopment TP Load (lb/yr)	1.52	1.52
Pre-ReDevelopment TP Load per acre (lb/acre/yr)	1.55	1.55
Baseline TP Load (lb/yr) (0.41 lbs/acre/yr applied to pre-redevelopment area excluding pervious land proposed for new impervious cover)		0.39

LAND COVER SUMMARY -- POST DEVELOPMENT

Land Cover Summary-Post (Final)		
Post ReDev. & New Impervious	Post-ReDevelopment	Post-Development New Impervious
Forest/Open Space Cover (acres)	0.00	
Weighted Rv(forest)	0.00	
% Forest	0%	
Managed Turf Cover (acres)	0.37	
Weighted Rv (turf)	0.25	
% Managed Turf	39%	
Impervious Cover (acres)	0.58	
Rv(impervious)	0.95	
% Impervious	61%	
Total ReDev. Site Area (acres)	0.96	
Final Post Dev Site Rv	0.68	

Treatment Volume and Nutrient Load

Final Post-Development Treatment Volume (acre-ft)	0.0540	Post-Development Treatment Volume (acre-ft)	--
Final Post-Development Treatment Volume (cubic feet)	2,352	Post-Development Treatment Volume (cubic feet)	--
Final Post-Development TP Load (lb/yr)	1.48	Post-Development TP Load (lb/yr)	--
Final Post-Development TP Load per acre (lb/acre/yr)	1.55		
		Max. Reduction Required (Below Pre-ReDevelopment Load)	10%
TP Load Reduction Required for Redeveloped Area (lb/yr)	0.11	TP Load Reduction Required for New Impervious Area (lb/yr)	0

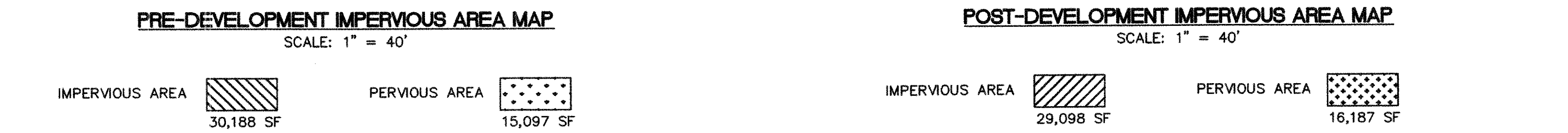
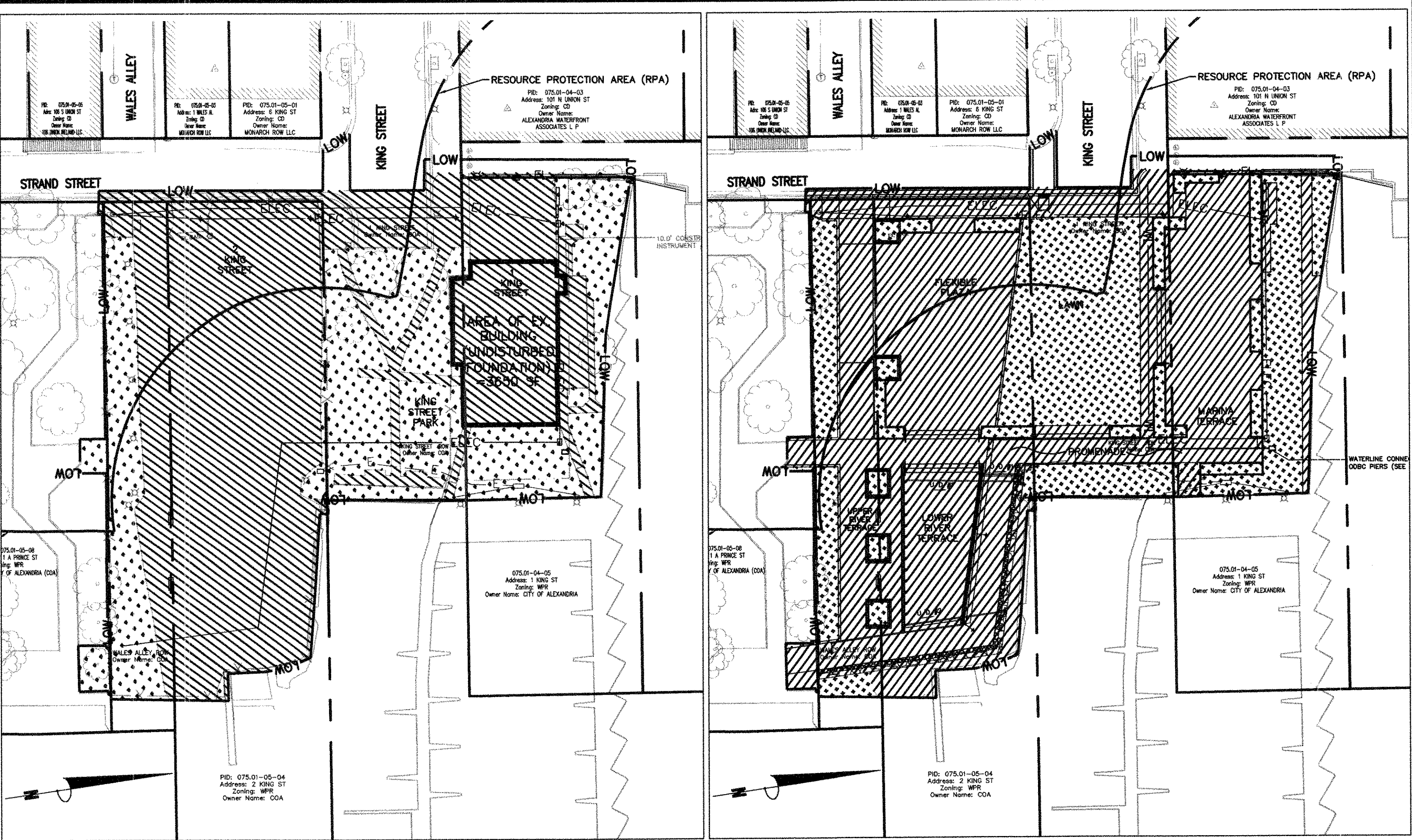
Post-Development Requirement for Site Area

TP Load Reduction Required (lb/yr)0.11

Nitrogen Loads (Informational Purposes Only)

Pre-ReDevelopment TN Load (lb/yr)	10.86	Final Post-Development TN Load (Post-ReDevelopment & New Impervious) (lb/yr)	10.57
-----------------------------------	-------	--	-------

1 Adjusted Land Cover Summary: Pre ReDevelopment land cover minus pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover.  
Adjusted total acreage is consistent with Post-ReDevelopment acreage (minus acreage of new impervious cover).  
Column 1 shows load reduction requirement for new impervious cover (based on new development load limit, 0.41 lbs/acre/year).



STORMWATER MANAGEMENT NARRATIVE

THE PROPOSED DEVELOPMENT, KNOWN AS INTERIM FITZGERALD SQUARE, WILL CREATE A TEMPORARY CITY PARK AT THE EASTERN TERMINUS OF KING STREET, FOLLOWING THE MOVE OF THE OLD DOMINION BOAT CLUB (ODBC). THE PROJECT CONSISTS OF THE DEMOLITION OF EXISTING SURFACES (PARKING AREA, WALKWAYS, PATIO, ETC.) AND CONVERSION INTO A PROPOSED MARINA TERRACE, LAWN, FLEXIBLE PLAZA AND RIVER TERRACE. THE PROJECT IS LOCATED ENTIRELY WITHIN THE FLOODPLAIN OF THE POTOMAC RIVER, WITHIN THE POTOMAC RIVER WATERSHED (HUC 020700100307).

THE PROPOSED PROJECT LIMITS OF DISTURBANCE IS 41,635 SF (0.96 AC). THIS INCLUDES THE ENTIRE AREA SHOWN WITHIN THE LIMITS OF WORK (45,285 SF) MINUS THE AREA OF THE BUILDING DEMOLITION WITH AN UNDISTURBED FOUNDATION (3,650 SF).

FOR THE OVERALL SITE, THE IMPERVIOUS AREA WILL BE DECREASED BY 1,090 SF COMPARED TO PRE-DEVELOPMENT CONDITIONS. FOR THE AREA WITHIN THE RPA, THE IMPERVIOUS AREA WILL BE DECREASED BY 268 SF. REGARDING IMPACTS TO THE FLOODPLAIN, A CUT/FILL ANALYSIS OF THE PROPOSED GRADES RESULTED IN A TOTAL NET FILL DEPTH OF ONLY 0.17'. THIS AMOUNT ACROSS THE SITE IS INCONSEQUENTIAL COMPARED TO THE OVERALL CROSS SECTIONS OF THE ADJACENT POTOMAC RIVER.

TYPICAL ONSITE WATER QUALITY TREATMENT OPTIONS HAVE BEEN CONSIDERED, SUCH AS BIORETENTION OR PERVIOUS PAVEMENT. THE MAIN CONSTRAINT IS THE PRESENCE OF THE SEASONAL HIGH WATER, WHICH IS ROUGHLY AT ELEVATION 2.00', JUST ABOVE THE MHHW ELEVATION (1.65'). THE PROPOSED IMPERVIOUS ELEMENTS RANGE FROM ELEVATION 3.00' TO 4.17' AT THE DOWNSTREAM SURFACE EDGES. GIVEN THAT THE DEQ DESIGN SPECIFICATIONS REQUIRE 2.0' DEPTH BETWEEN THE BOTTOM OF THE FACILITY AND THE SEASONAL HIGH WATER, THERE IS NOT ENOUGH ELEVATION DROP TO ALLOW FOR THE BIORETENTION OR PERVIOUS PAVEMENT CROSS SECTION. GIVEN THE ABOVE SITE CONSTRAINTS, THE PROJECT REQUIRES THE PURCHASE OF OFFSITE NUTRIENT CREDITS TO OFFSET THE ENVIRONMENTAL IMPACT OF DEVELOPMENT. USING THE VIRGINIA RUNOFF REDUCTION METHOD, THE AMOUNT OF PHOSPHORUS REMOVAL REQUIRED IS DETERMINED TO BE 0.11 LB/YR. A LETTER OF AVAILABILITY CAN BE FOUND ON SHEET 17. ONCE THE REQUIRED AMOUNT IS FINALIZED AND THE CREDITS ARE PURCHASED, THE LETTER WILL BE REPLACED WITH AN AFFIDAVIT OF PHOSPHORUS CREDIT SALE. IT IS NOTED THAT THE PROJECT DOES ADD A VEGETATED BUFFER OF NATIVE GRASSES AND WILDFLOWER BLEND (18" – 24" TALL) ON THE NORTH AND EAST SIDES OF THE MARINA TERRACE. ALSO, THE PROJECT INCORPORATES RAISED PLANTERS WITH TALL PERENNIAL GRASSES AND FIVE (5) DECIDUOUS CANOPY TREES THROUGHOUT THE PLAZAS WHICH WILL SERVE TO INCREASE STORAGE AND REDUCE RUNOFF. FINALLY, THE PROJECT MAINTAINED EXISTING GRASS AREAS WHERE FEASIBLE. FOR THE LARGE GRASS AREA, EXISTING IMPERVIOUS PATHS WERE REMOVED.

IMPERVIOUS AREA & FLOW TABULATION						
LIMITS OF WORK		45,285 SF				
AREA OF DEMOLISHED ODBC BUILDING (UNDISTURBED AREA)		3,650 SF				
LIMITS OF DISTURBANCE		41,635 SF (0.96 AC)				
		IMPERVIOUS AREA	PERVIOUS AREA	C Factor	Q 2yr (i=6.25 in/hr)	Q 10yr (i=9.00 in/hr)
PRE-DEVELOPMENT	OUTSIDE OF RPA	7,119 SF	2,416 SF			
	WITHIN RPA	23,053 SF	12,681 SF			
	TOTAL	30,188 SF	15,097 SF	0.70	4.55 cfs	6.55 cfs
POST-DEVELOPMENT	OUTSIDE OF RPA	6,313 SF	3,238 SF			
	WITHIN RPA	22,785 SF	12,949 SF			
	TOTAL	29,098 SF	16,187 SF	0.69	4.48 cfs (-0.07 cfs)	6.46 cfs (-0.09 cfs)

1"=40'

40 0 20 40

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DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. DSP#2016-00035

3/5/2018

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

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INTERIM FITZGERALD SQUARE – DSP# 2016–00035

1"=40'

NAD83 VIRGINIA STATE PLANES, NORTH ZONE, US FOOT

CITY OF ALEXANDRIA, VIRGINIA

DEPARTMENT OF PROJECT IMPLEMENTATION

301 KING STREET

ALEXANDRIA, VIRGINIA 22313

REVISIONS

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DRAWN BY: ML DATE: 02/16/18

CHECKED BY: AG DATE: 02/16/18

APPROVED BY: AG DATE: 02/16/18

STORMWATER MANAGEMENT PLAN

SHEET 16 OF 31

SCALE 1" = 40'



## NA

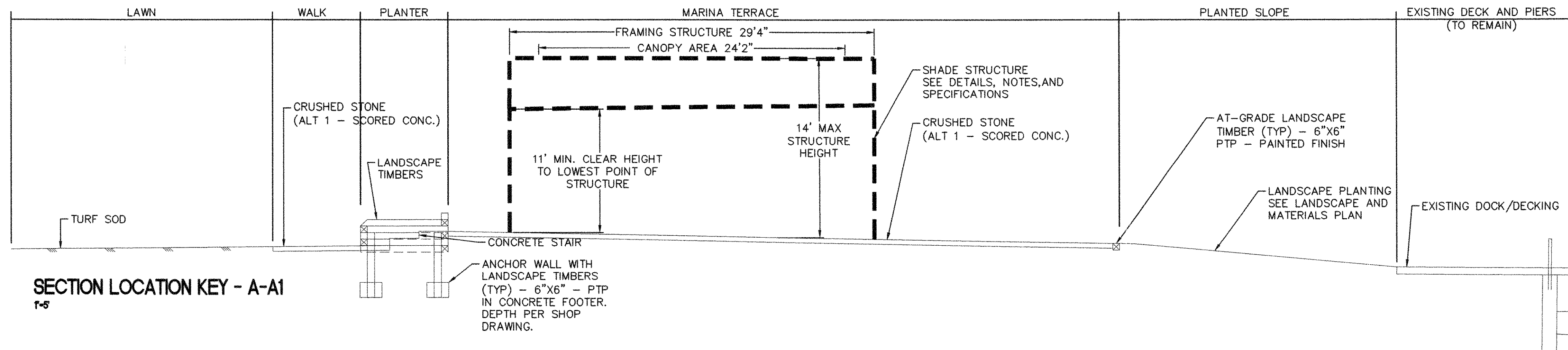


SCALE NONE

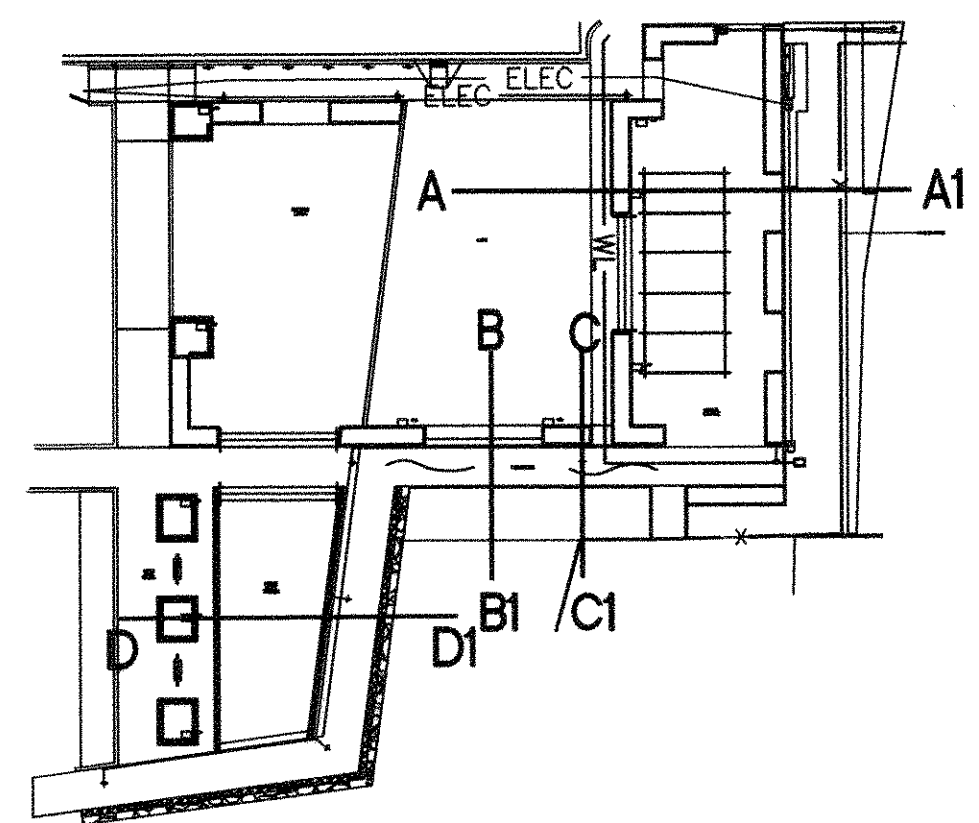


NAD83 VIRGINIA STATE PLANES, NORTH ZONE, US FOOT

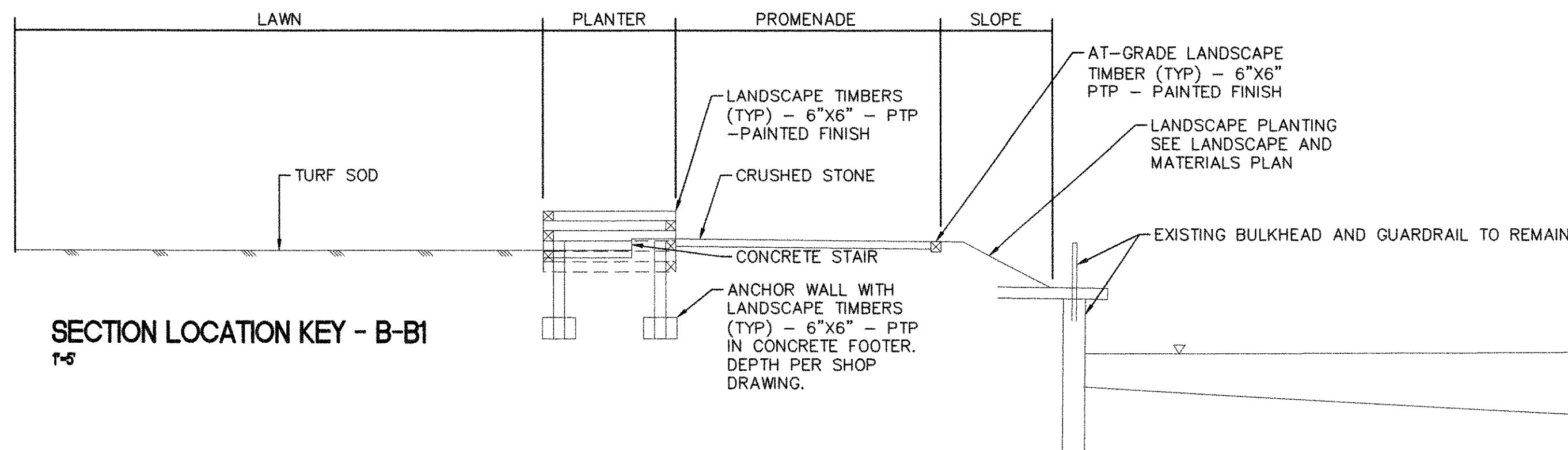




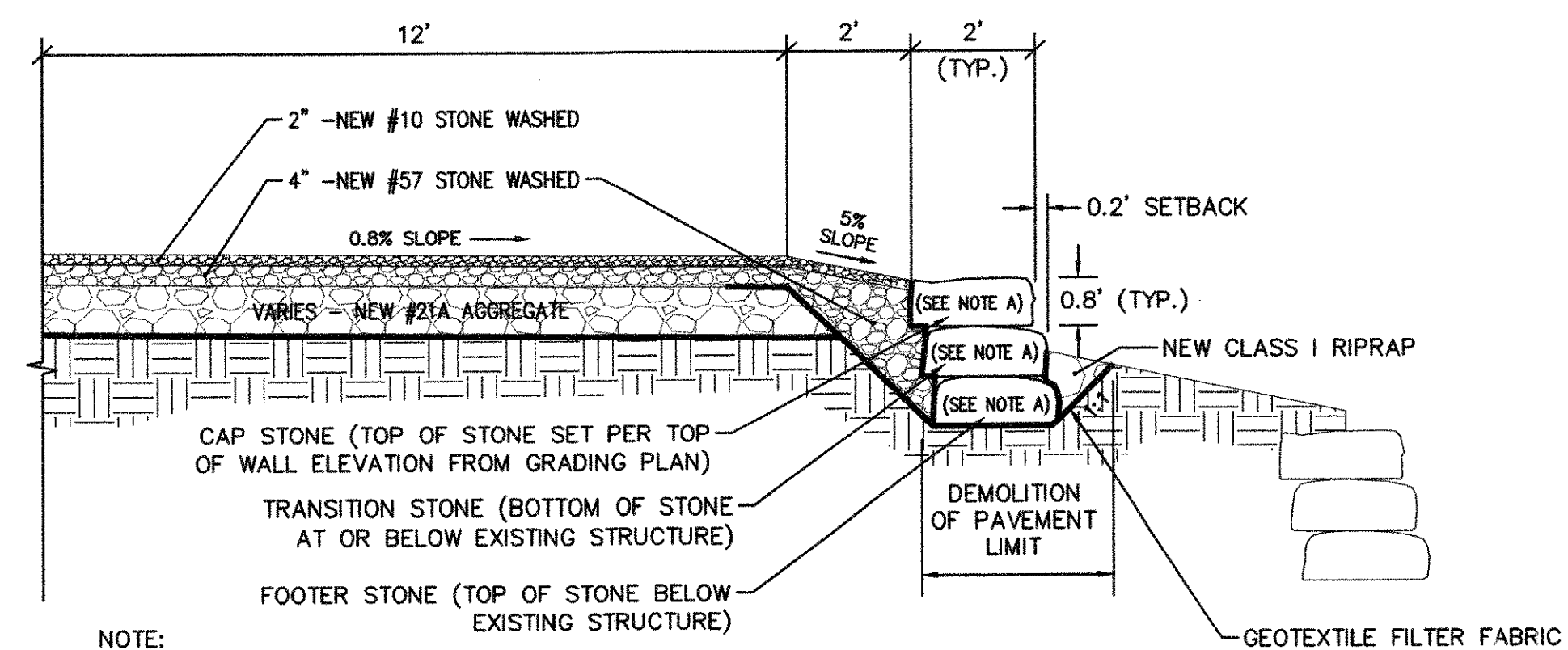
SECTION LOCATION KEY - A-A1  
1'-5'



SECTION LOCATION KEY - NTS



SECTION LOCATION KEY - B-B1  
1'-5'

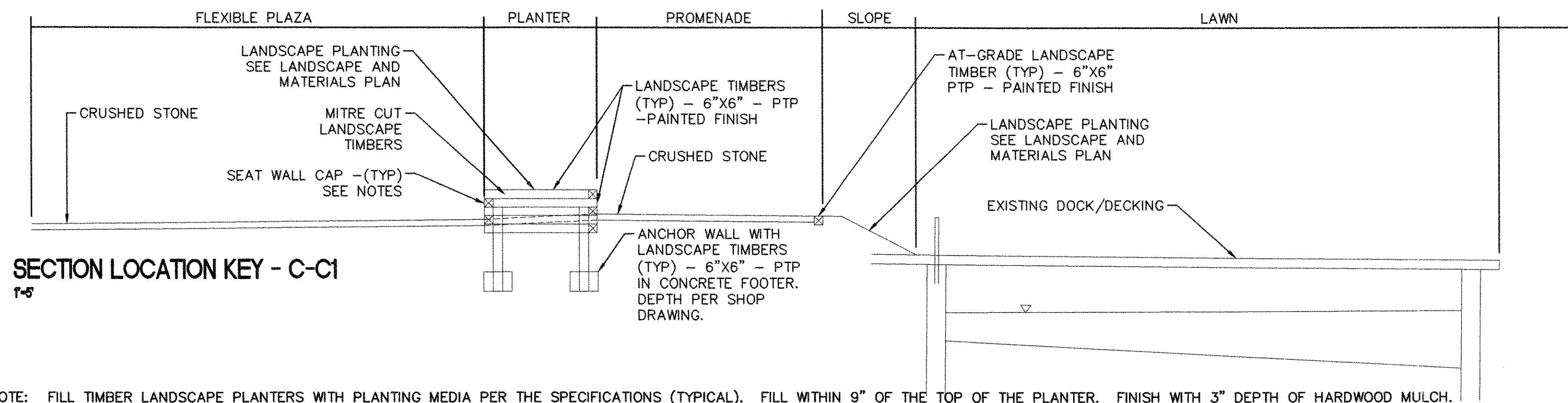


NOTE:

- ROCKS SHALL BE ANGULAR (2' WIDTH X 0.8' HEIGHT X 3' LENGTH).
- OVERALL HEIGHT OF STACKED STONE IS SET AT 2.4'. THE EMBEDMENT DEPTH VARIES PER THE ELEVATIONS PROVIDED ON THE GRADING PLAN.
- GEOTECH FILTER FABRIC SHALL MEET THE REQUIREMENT FOR FILTER FABRIC USED WITH RIPRAP AS DETAILED IN TABLE 3.19 D IN SECTION 3.19 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK THIRD EDITION, 1992, PAGE III-171.
- INSTALL FILTER FABRIC STAPLES OF 0.125 INCH DIAMETER NEW STEEL WIRE FORMED INTO A "U" SHAPE NOT LESS THAN 6 INCHES IN LENGTH WITH A THROAT WIDTH OF 1 INCH.

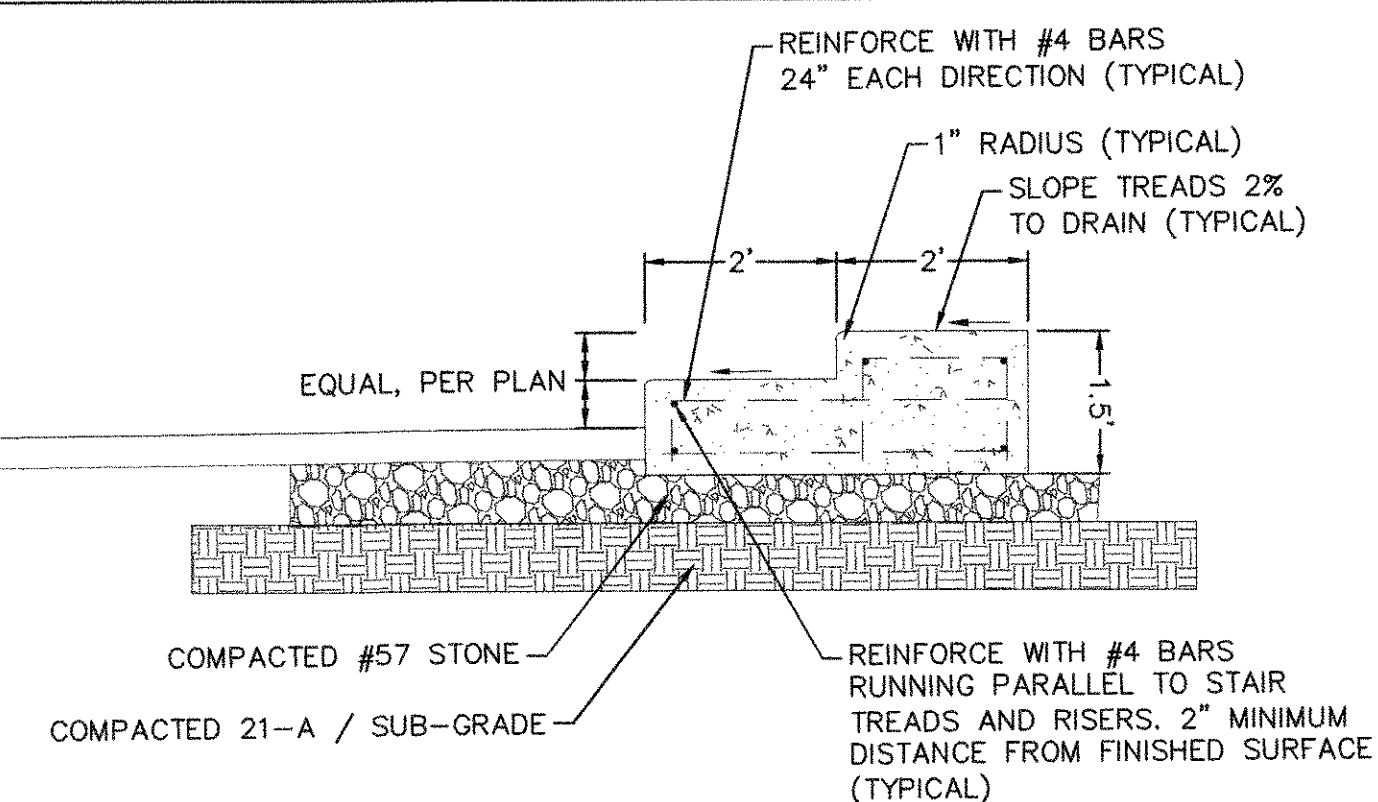
STACKED STONE DETAIL-1

N.T.S.



SECTION LOCATION KEY - C-C1  
1'-5'

NOTE: FILL TIMBER LANDSCAPE PLANTERS WITH PLANTING MEDIA PER THE SPECIFICATIONS (TYPICAL). FILL WITHIN 9" OF THE TOP OF THE PLANTER. FINISH WITH 3" DEPTH OF HARDWOOD MULCH.



CIP CONCRETE STAIR TYPICAL DETAIL  
(RISER QUANTITY VARIES PER PLAN)  
N.T.S.

APPROVED

SPECIAL USE PERMIT NO. \_\_\_\_\_  
DEPARTMENT OF PLANNING & ZONING

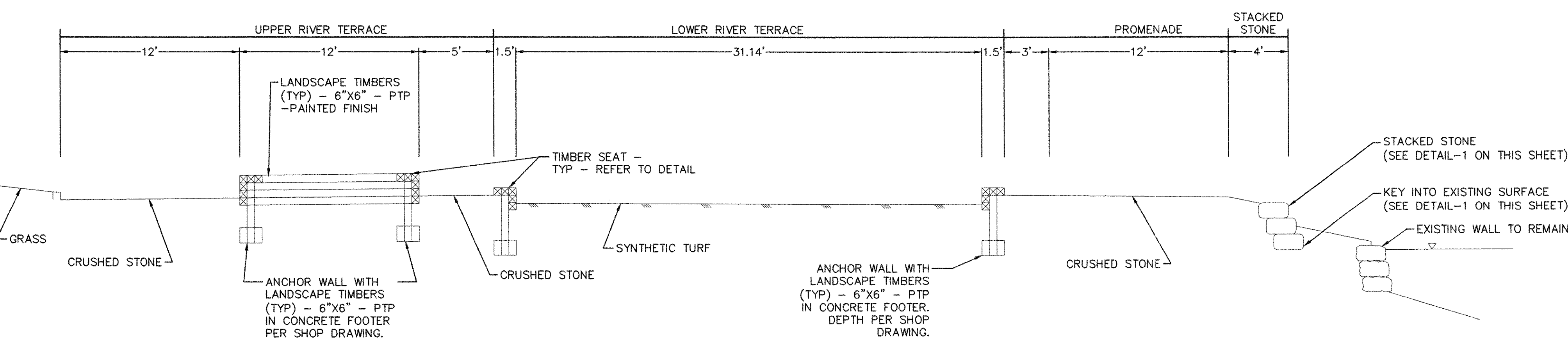
DIRECTOR DATE 2-23-18  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. DSP#2016-00035

DIRECTOR DATE 3/5/2018  
CHAIRMAN PLANNING COMMISSION DATE 2-23-18

DATE RECORDED \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

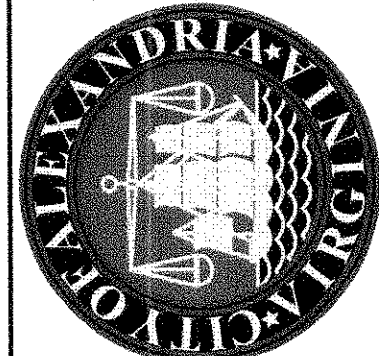


NAD83 VIRGINIA STATE PLANES, NORTH ZONE, US FOOT



SECTION LOCATION KEY - D-D1  
1'-5'

FINAL PLANS



CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS	DESCRIPTION
DATE	BY

ALEXANDRIA PROJECT NO.:	
DATE OF PLAN ISSUANCE:	
CONSULTANT PROJECT ID.:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
APPROVED BY:	

DETAILS-3

SHEET  
20 OF 31  
SCALE NONE

INTERIM FITZGERALD SQUARE - DSP# 2016-00035



WATER QUALITY DEFAULT VOLUME

TOTAL PROPOSED IMPERVIOUS AREA: 0.6680 AC  
TREATMENT OF FIRST HALF INCH OF RUNOFF: 1,815 X 0.6680 = 1212 CU. FT.

IMPERVIOUS AREA TREATED = 0.000 AC X 1,815 = 0 CU. FT.  
IMPERVIOUS AREA NOT TREATED = 0.6680 AC

A CONTRIBUTION TO THE ALEXANDRIA WATER QUALITY FUND WILL BE MADE TO COMPENSATE FOR THAT PORTION OF THE WQV DEFAULT WHICH IS NOT BEING TREATED ON-SITE.

PROJECT DESCRIPTION			
DRAINAGE AREA	IMPERVIOUS	PERVIOUS	TOTAL
SITE AREA	0.6680 AC	0.3716 AC	1.0396 AC
ON-SITE TREATED	0.0000 AC	0.0000 AC	0.0000 AC
OFF-SITE TREATED	0.0000 AC	0.0000 AC	0.0000 AC
TOTAL TREATED	0.0000 AC	0.0000 AC	0.0000 AC
ON-SITE IMPERVIOUS AREAS DISCONNECTED BY A VEGETATED FILTER	0.0000 AC	0.0000 AC	0.0000 AC
TOTAL TREATED OR DISCONNECTED	---	---	0.0000 AC

WATER TREATMENT ON-SITE

BMP TYPE	AREA TREATED BY BMP (ACRES)	IMPERVIOUS AREA TREATED BY BMP (ACRES)	BMP EFFICIENCY (%)
N/A	0.0000 AC	0.0000 AC	N/A

WATER QUALITY VOLUME REQUIRED = 1212 CU. FT.

TOTAL WQV TREATED: NO  
DETENTION ON SITE: NO  
PROJECT IS WITHIN WHICH WATERSHED? POTOMAC RIVER  
PROJECT DISCHARGES TO WHICH BODY OF WATER? POTOMAC RIVER

COMPLIANCE NARRATIVE

SINCE THE ENTIRE WATER QUALITY REQUIREMENT CANNOT BE MET, A CONTRIBUTION WILL BE MADE, DIRECTLY BY THE CITY, TO THE ALEXANDRIA WATER QUALITY IMPROVEMENT FUND (WQIF). THE BASELINE CONTRIBUTION IS BASED ON \$2.00 PER SQUARE FOOT OF IMPERVIOUS SURFACE NOT BE TREATED (0.6680 AC.), WHICH EQUATES TO A CONTRIBUTION OF \$58,196. A JANUARY 8, 2018 LETTER MADE A REQUEST FOR REDUCTION OF \$27,600 BASED ON THE USE OF ALTERNATIVE SWM EQUIVALENCY OPTIONS SUCH AS PROVIDING ENHANCED PLANTINGS AND REDUCING THE POLLUTION THROUGH THE CHANGE OF USE FROM PARKING LOT TO PARKLAND. PER THE JANUARY 8, 2018 LETTER RESPONSE FROM T&ES STORMWATER, THE REDUCTION IS APPROVED AND A TOTAL OF \$30,596 MUST BE PAID INTO THE WQIF. SEE NOTE A.

NOTE A: THE WQIF CONTRIBUTION AND NUTRIENT CREDIT PURCHASE HAVE BEEN MADE, DIRECTLY BY THE CITY, TO THE APPROPRIATE ENTITIES. THE CONTRACTOR IS NOT RESPONSIBLE TO INCLUDE THESE COSTS WITH THEIR BID ITEMS.

EXHIBIT B  
BILL OF SALE

THIS BILL OF SALE is made as of the 8 day of March, 2018, by RLP Investments, L.C., a Virginia limited liability company ("Seller") and City of Alexandria, VA, ("Purchaser").

Seller and Purchaser have entered into that certain Agreement for Purchase and Sale of Nutrient Offset Credits dated January 12, 2018, (the "Purchase Agreement"), the terms of which are incorporated herein by reference and made a part hereof, with respect to the sale by Seller and the purchase by Purchaser of nutrient offset credits generated by Seller's Kinsale Nutrient Bank located in Westmoreland County, Virginia.

In consideration of the payment of the Purchase Price \$1,760.00 and (as defined in the Purchase Agreement) and other good and valuable consideration, the receipt and sufficiency of which are mutually acknowledged, Seller hereby sells, transfers, assigns, conveys, delivers, and sets over to Purchaser, its successors or assigns the following nutrient offset credits (as defined in the Purchase Agreement):

Phosphorus: 0.11 lbs. and

Nitrogen: 1.22 lbs.

Project: Interim Fitzgerald Square at 1 King Street, Alexandria, VA 22314

VSMF Permit #: \_\_\_\_\_

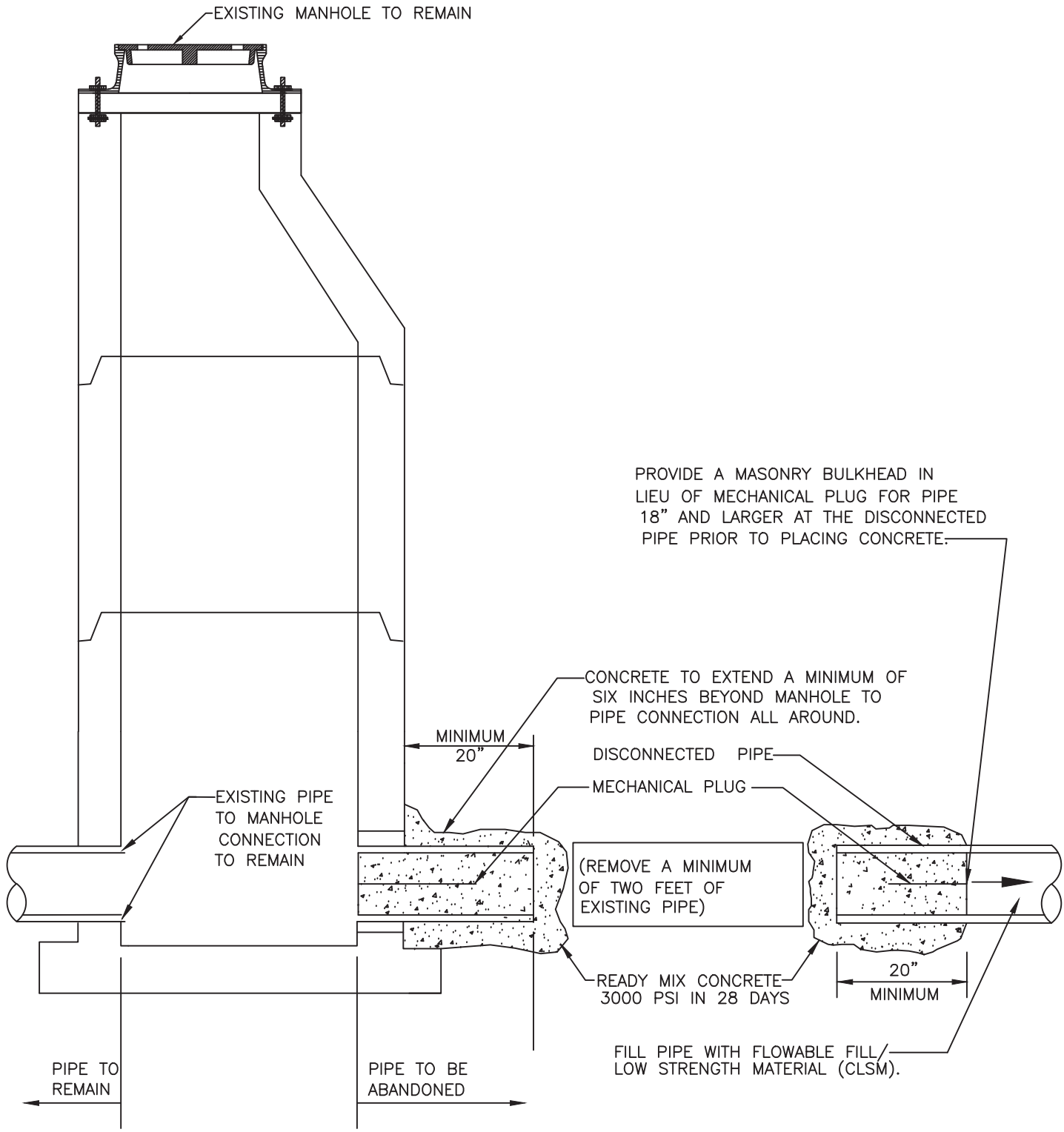
WITNESS the following authorized signature:

RLP Investments, L.C.,  
a Virginia limited liability company

By: *Ronald Pemberton*  
Name: Ronald Pemberton  
Title: Manager

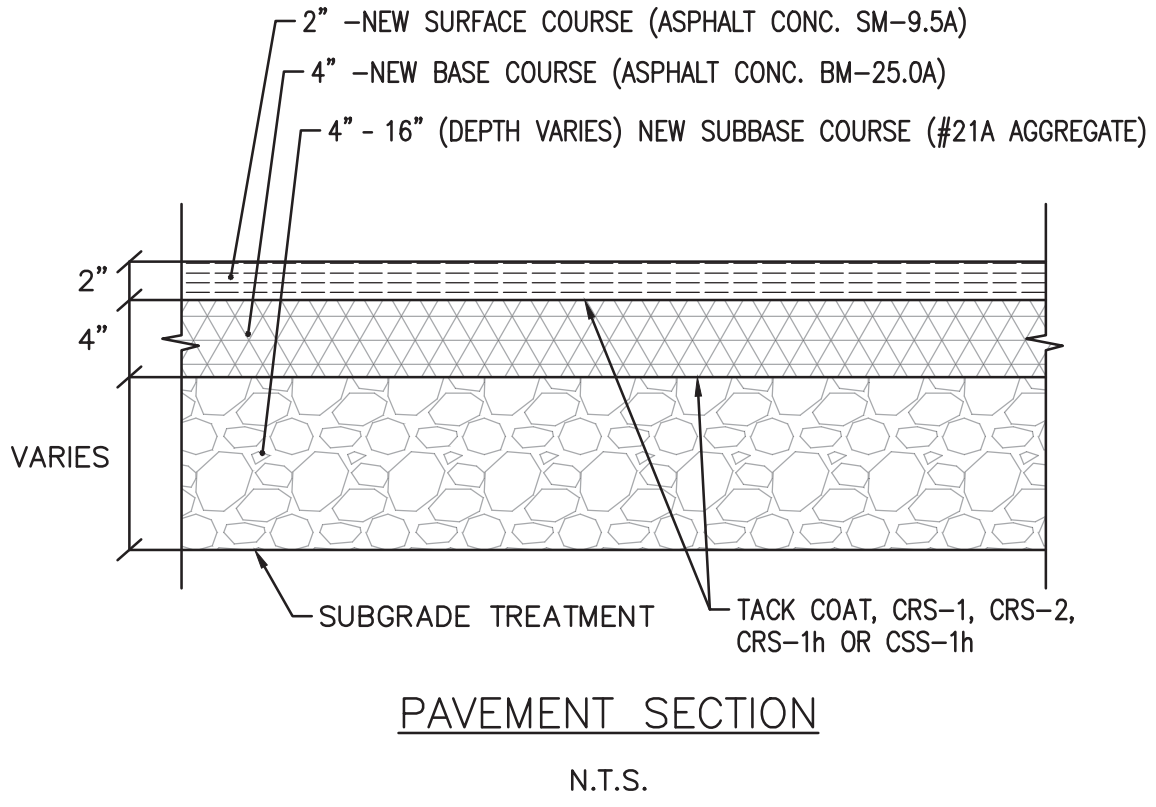
-10-

SEE NOTE A.



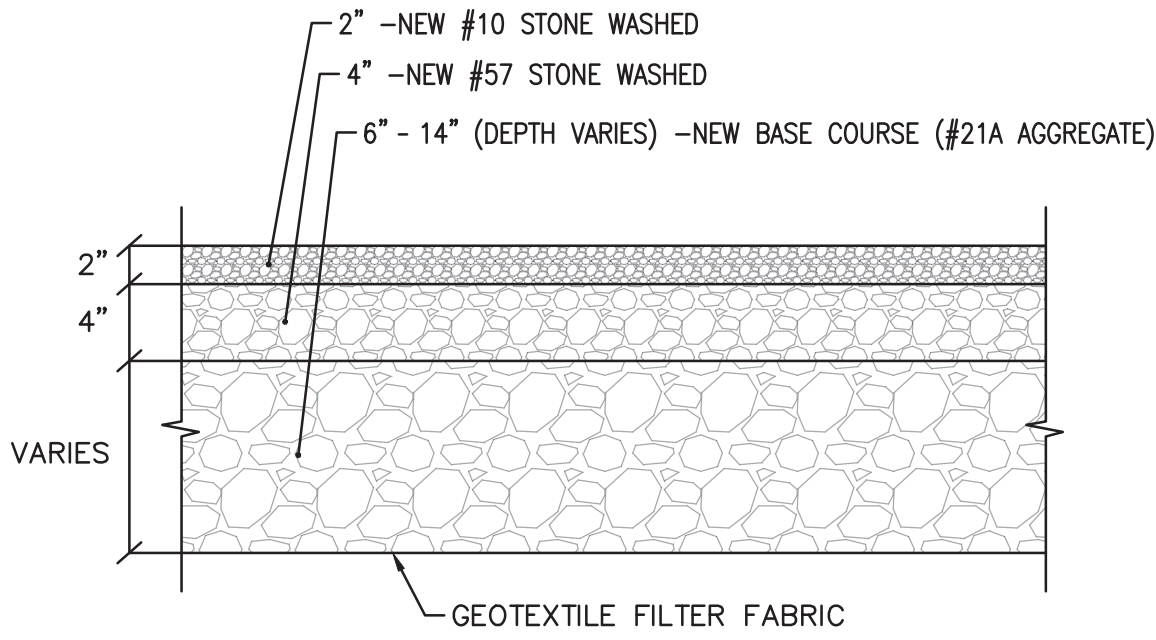
SEWER PIPE ABANDONMENT

N.T.S.



PAVEMENT SECTION

N.T.S.



STONE DUST TRAIL

N.T.S.

FINAL PLANS

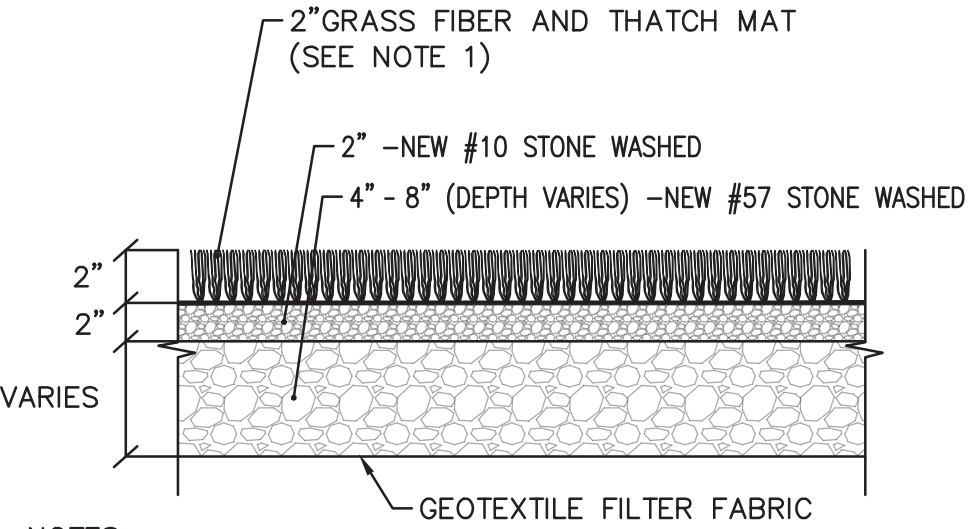


CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS		DATE	BY	DESCRIPTION
1	BTM	03/12/18		Revision 1

ALEXANDRIA PROJECT NO.:	
DATE OF PLAN ISSUANCE:	
CONSULTANT PROJECT ID.:	
DESIGNED BY:	ML
DRAWN BY:	ML
CHECKED BY:	AG
APPROVED BY:	AG

DETAILS-4



NOTES:

1. GRASS FIBER/THATCH MAT SHALL BE SYNLAWN PRODUCT "SYNAUGUSTINE 347" OR APPROVED EQUAL. CONTRACTOR TO SUBMIT MATERIAL PRODUCT SPECIFICATIONS AND SAMPLE FOR REVIEW AND APPROVAL.

SYNTHETIC TURF

N.T.S.

APPROVED

SPECIAL USE PERMIT NO. \_\_\_\_\_  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. DSP#2016-00035

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

INTERIM FITZGERALD SQUARE - DSP# 2016-00035

SHEET  
21 of 31

SCALE NONE



Department of Project Implementation  
301 King Street Suite 3200  
Alexandria, Virginia 22314

Phone: 703.746.4045  
Fax: 703.838.4299

www.alexandriava.gov

January 8, 2018

Ms. Melanie Mason  
Watershed Management Planner  
Stormwater Management  
Transportation & Environmental Services  
City of Alexandria, VA  
2900 Business Center Drive  
Alexandria, VA 22314

Re: Interim Fitzgerald Square (IFS) at 1 and 2 King Street  
DSP 2016-00035

Dear Ms. Mason:

The following is a formal request for a reduction in the Water Quality Impact Fund (WQIF) monetary contributions for the Interim Fitzgerald Square (IFS) project at 1 and 2 King Street.

Originally, DPI submitted a reduction request on March 14, 2017 with the completeness submission. Per the March 27, 2017 verification comments letter, T&ES Stormwater noted approval of a reduction of \$27,600 of the WQIF monetary contribution. The latest update to the stormwater plan is from the submission to ESI, dated December 28, 2017. This updated plan reduced the post-development impervious area from 34,378 SF to 29,098 SF. The following documents the latest project values.

1. The attached Stormwater Management Plan (plan sheet 16) and Water Quality Impact Assessment (plan sheet 17) provides further details regarding the project.
  - a. For the overall site, the impervious surface **decreases** from 67% to 64%, a decrease in area of 1090 SF.
  - b. For the area within the RPA, the impervious surface **decreases** from 65% to 64%, a decrease in area of 268 SF.
2. Per section 13-110 of the Alexandria code, the WQVD requirements can be met by either traditional BMPs, monetary contributions, and/or alternative SWM equivalency options.
  - a. Due to a shallow water table, traditional BMPs were not feasible on this project.

- b. The Water Quality Improvement Fund (WQIF) monetary contributions are based on the overall limits of work (45,285 SF). The amount of impervious area within these limits is 29,098 SF. Per Memorandum To Industry 04-08, the rate of the fee is \$2.00/SF of impervious area not treated by a BMP. This results in a WQIF fee of \$58,196 for the IFS project. This does not include the requested reduction from below.

- c. Per 13-110, the project requests a reduction in WQIF fee based on the following proposed alternative stormwater management equivalency measures. Per the second paragraph of this letter, T&ES Stormwater previously approved a reduction of \$27,600:

- i. Section 13-110.B - Removal of existing RPA encroachments:
  1. The project reduced the impervious area within the RPA by 268 SF.
- ii. Section 13-110.B - RPA enhancements:
  1. As shown on the attached Landscape and Materials Plan (plan sheet 14), the project proposes a vegetated buffer along the northern and eastern edges of the marina terrace. This buffer of native grasses, wildflower blend, and sixty (60) Virginia Sweetspine shrubs will provide an improvement over the existing mix of managed turf and sidewalk in that area.
- iii. Section 13-110.D.1 - Parking Areas:
  1. The existing parking lot consists of 64 existing spaces for cars and boats at the ODBC parking lot. The majority of these spaces sheet flows to the east, directly into the Potomac River. The proposed condition replaces the parking areas with pedestrian friendly areas, removing the source of oil, grease, and petroleum hydrocarbons associated with a parking lot condition.
- iv. Section 13-110.D.2 - Public Benefits:
  1. The project creates a series of programmatic spaces to promote public benefits along the waterfront. These include a marina terrace, upper and lower river terrace, and promenade.

Given the above calculation from 2b and requested reduction in 2c, the anticipated WQIF fee would be \$30,596.

If you have any questions, please contact Mr. Brian Meli, Civil Engineer IV at 703.746.4110.

Sincerely,

*Brian Meli*

Brian Meli, P.E.  
Civil Engineer IV, Project Implementation

cc: Mitch Bernstein, Director, City of Alexandria, DPI  
Tony Gammon, Deputy Director, City of Alexandria, DPI  
Matt Landes, Principal Planner, City of Alexandria, DPI

Attachments:

Plan sheets 1, 14, 16, 17, & 21 - "Excerpt\_IFS-DSP\_PLANS\_to\_ESI\_2017-12-28.pdf"



DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES  
Infrastructure and Environmental Quality  
P.O. Box 178 - City Hall  
Alexandria, Virginia 22313  
www.alexandriava.gov

1/8/2018

Brian Meli, PE  
City of Alexandria  
Department of Project Implementation  
301 King St. Suite 3200  
Alexandria, VA 22314

RE: Interim Fitzgerald Square  
DSP2016-00035

Dear Mr. Brian Meli:

This is in regard to your letter dated January 8, 2018 requesting to meet the Alexandria Water Quality Volume Default (WQVD) in a Resource Management Area per Article XIII, Section 13-109(E)(6) by treating 0 percent of the WQVD in the project area(s) through stormwater quality controls (structural BMPs), by providing enhanced plantings, reducing pollution through a change of use, and by participating in the City's Water Quality Improvement Fund (WQIF). You have requested to pay a fee in lieu of providing an onsite BMP as outlined in Article XIII, Section 13-110(A)(2). You have agreed to provide a monetary contribution of \$30,596.00 to the Alexandria WQIF. This represents 100 percent of the overall WQVD left untreated.

Your request has been approved. The procedure now is to scan your request letter onto your final plan on a sheet that is labeled Stormwater Facility BMP Details or something similar. Your final plan will be eligible for approval when you have paid the fee (\$30,596.00). The approval of the plan (with your request therein) will act as the approval of your request.

Sincerely,

*Shanna Austin*

Melanie Mason  
Watershed Management Planner  
T&ES Stormwater Management

cc: Shanna Austin, Development Coordinator

10-YEAR STORM SEWER DESIGN

STRUCTURE			DRAINAGE AREA, RUNOFF & FLOW INFORMATION								PIPE INFORMATION						MANHOLE INFORMATION				REMARKS	
INFORMATION			DRAIN AREA (ACRES)	RUN-OFF COEFF. (C)	CA		INLET TIME (MIN)	RAINFALL INTENSITY (IN/HR)	FLOW		LENGTH (FT)	SLOPE (%)	DIA (IN)	MATERIAL	n = 0.015		INVERTS		TOP OF U/S STR.	DEPTH OF COVER (INV. OUT)		U/S STR DEPTH (FT.)
UPPER (OUT)	LOWER (IN)	STRUCTURE TYPE			INC.	CUM.			Q(INC) (CFS)	Q(CUM) (CFS)					CAPACITY (CFS)	VELOCITY (FPS)	UPPER (OUT)	LOWER (IN)				
PVC PIPE	ENDWALL		0.05	0.90	0.05	0.05	5.0	9.00	0.41	0.41	21.00	1.00	6	PVC	0.49	2.80	3.74	3.53	N/A	N/A	N/A	A single 6" pipe is at 84% capacity. To be conservative and allow for some clogging, dual 6" pipe with a combined capacity of 0.98 cfs is proposed to carry the design flow of 0.41 cfs.
PVC PIPE	ENDWALL									0.20	21.00	1.00	6	PVC	0.49	2.33	3.74	3.53	N/A	N/A	N/A	
PVC PIPE	ENDWALL									0.20	21.00	1.00	6	PVC	0.49	2.33	3.74	3.53	N/A	N/A	N/A	

A single 6" pipe is at 84% capacity. To be conservative and allow for some clogging, dual 6" pipe with a combined capacity of 0.98 cfs is proposed to carry the design flow of 0.41 cfs.

NAD83 VIRGINIA STATE PLANES, NORTH ZONE, US FOOT



- GENERAL NOTES:**
1. All lumber shall be 6x6, southern pine, grade #2 or better and pressure treated in accordance with American Wood-Preservers' Association standards for ground contact.
  2. All spikes shall be 60d or equivalent, hot-dipped galvanized or stainless steel and driven into predrilled holes. Spikes be of sufficient length to penetrate the base member a minimum of 2 inches.
  3. Member joints shall be staggered a minimum of 3.5 feet from the joints of the course above and below.

**WALL CONSTRUCTION:**  
The construction of a timber retaining wall shall conform to the requirements show in FIGURE 1 through FIGURE 3.

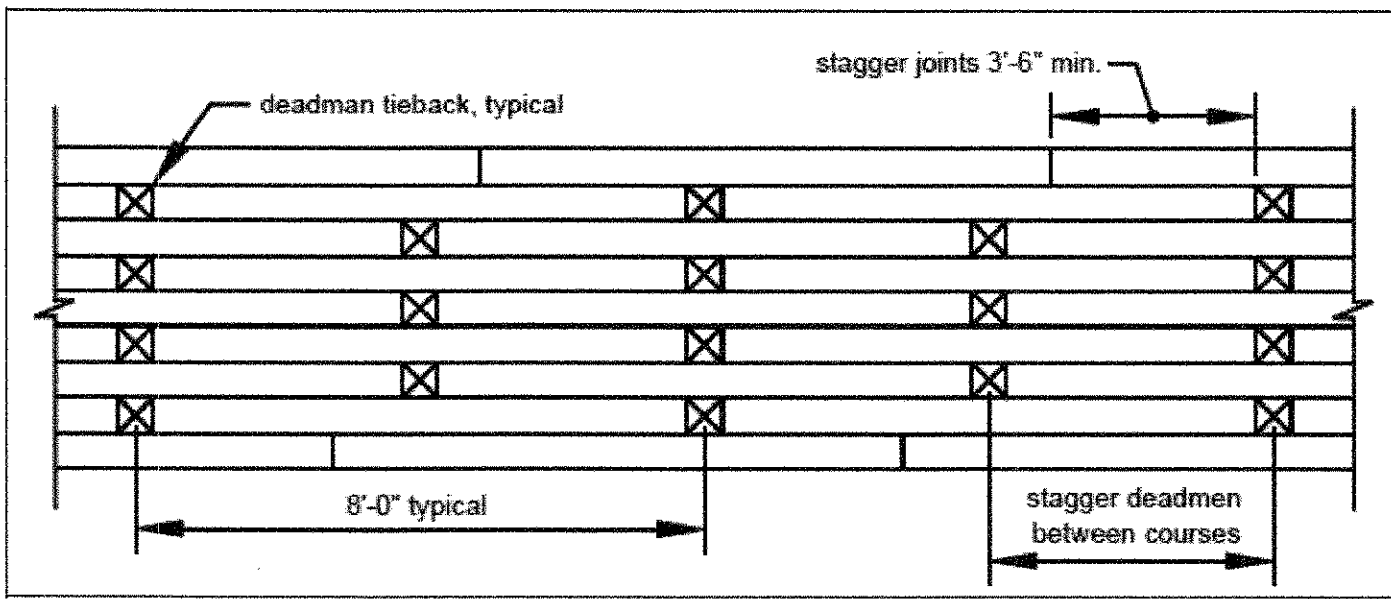
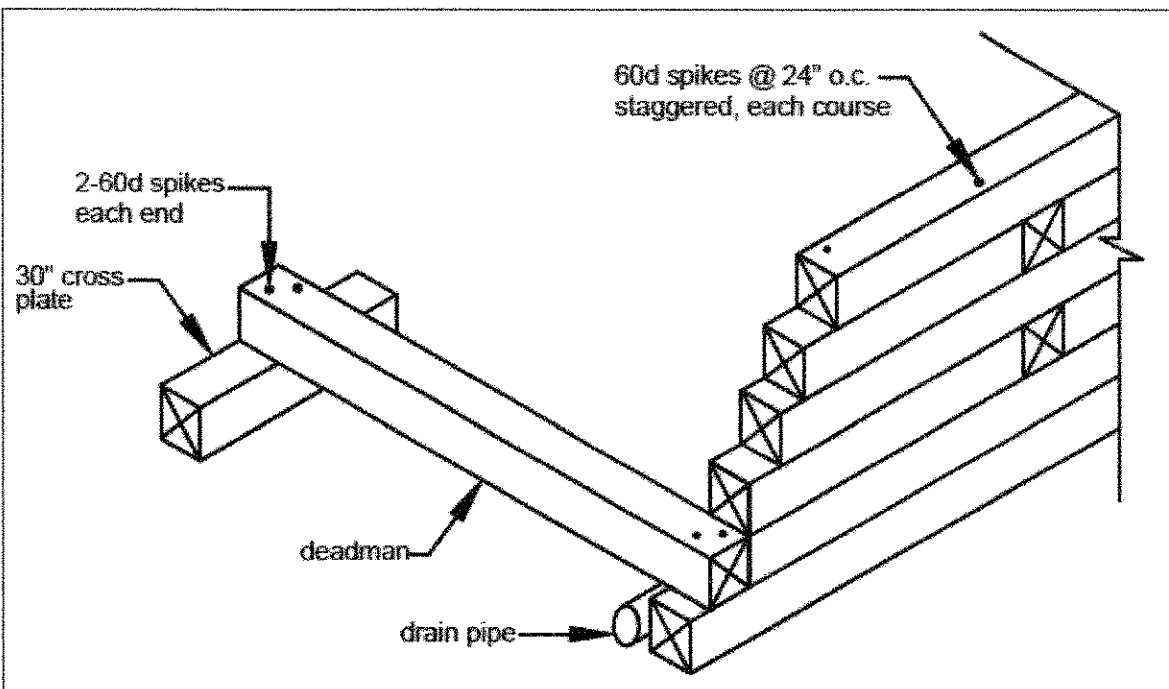


FIGURE 1: TYPICAL ELEVATION

**DEADMEN REQUIREMENTS:**  
Deadmen shall be placed at 8 feet on center as shown in FIGURE 1. Deadmen and cross plates shall be constructed as shown in FIGURE 3. Deadmen are not required in the bottom course below grade.



NOTE:  
DEADMEN ONLY REQUIRED FOR RETAINING/SEAT WALLS, AND ARE NOT REQUIRED FOR THE TIMBER PLANTERS.

**CONNECTION REQUIREMENTS:**  
Each 6x6 member shall be secured at each end with 2-60d spikes driven vertically into the member below. The corners shall be secured with 2-60d spikes and driven horizontally as shown in FIGURE 4.

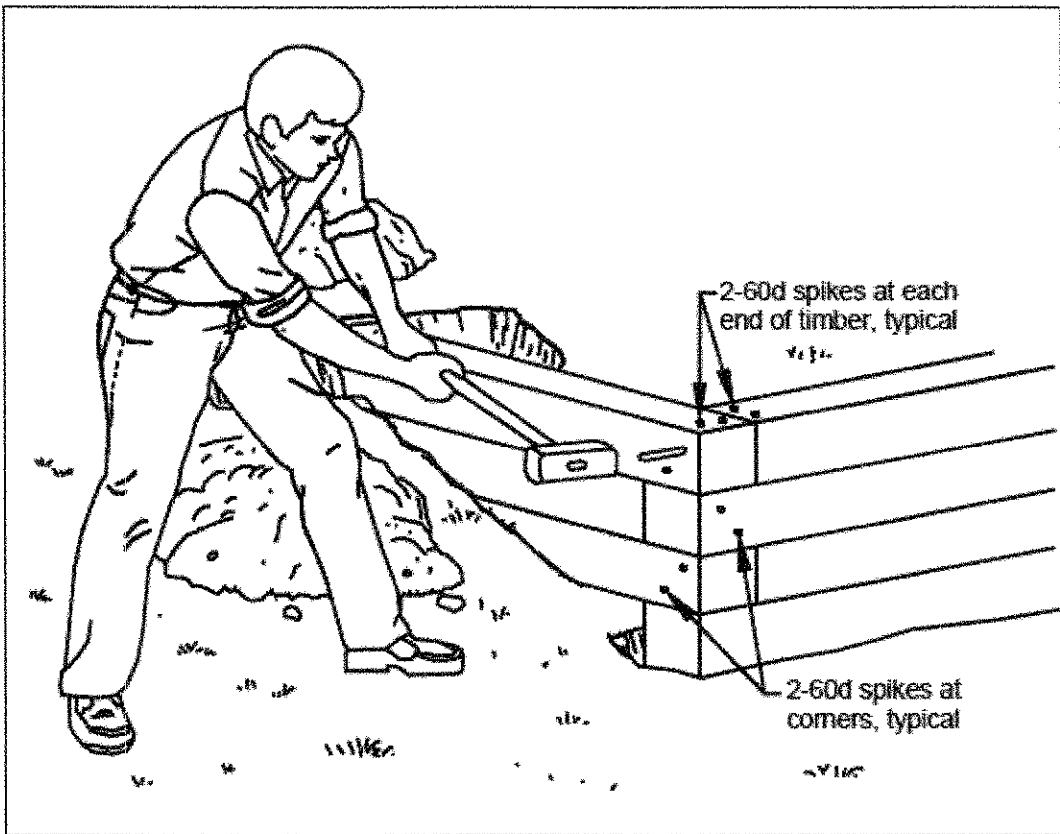


FIGURE 4: TYPICAL CORNER DETAIL

### TIMBER SITE WALLS, RETAINING WALLS, AND PLANTERS

1. TIMBER WALLS SHALL BE CONSTRUCTED OF PRESSURE TREATED PINE OR OTHER TREATED/ROT-RESISTANT WOOD PRODUCT.
2. CONTRACTOR SHALL SUBMIT MATERIAL PRODUCT SPECIFICATIONS, MATERIAL FINISH, AND SHOP DRAWINGS IN PLAN AND ELEVATION/SECTION FOR REVIEW AND APPROVAL. SHOP DRAWINGS MUST BE SIGNED AND SEALED BY A QUALIFIED PROFESSIONAL ENGINEER RESPONSIBLE FOR THEIR PREPARATION.
3. SITE WALLS / FOOTER TIMBERS MUST BE ANCHORED SECURELY TO SUBGRADE TO PREVENT WALLS FROM SHIFTING OR FLOATING BASED ON FLOOD RISK. THE BOTTOM OF THE FOOTINGS MUST BE A MINIMUM OF 24" BELOW GRADE. THE FOOTINGS SHOWN ARE SCHEMATIC ONLY. SUBMIT SHOP DRAWINGS OF WALLS AND ANCHOR METHOD FOR CITY REVIEW AND APPROVAL.
4. CONNECTION DETAILS SHALL BE INCLUDED WITH THE SHOP DRAWINGS.
5. SHOP DRAWINGS MUST MEET THE 2012 VIRGINIA CONSTRUCTION CODE AND ICC A117.1-2009.
6. PAINT AND SEAL WOOD TIMBERS WITH DARK GRAY WOOD STAIN. SUBMIT PRODUCT INFORMATION AND MATERIAL SAFETY DATASHEETS TO CITY OF ALEXANDRIA FOR REVIEW AND APPROVAL OF PRODUCT AND COLOR SELECTION.
7. ALL FASTENERS SHALL BE MARINE-GRADE GALVANIZED METAL.
8. PROVIDE 1"-2" WEEP HOLES A MINIMUM OF SIX FEET (6') ON CENTER, JUST ABOVE FINISH GRADE, ON ALL SIDES OF TIMBER WALLS.

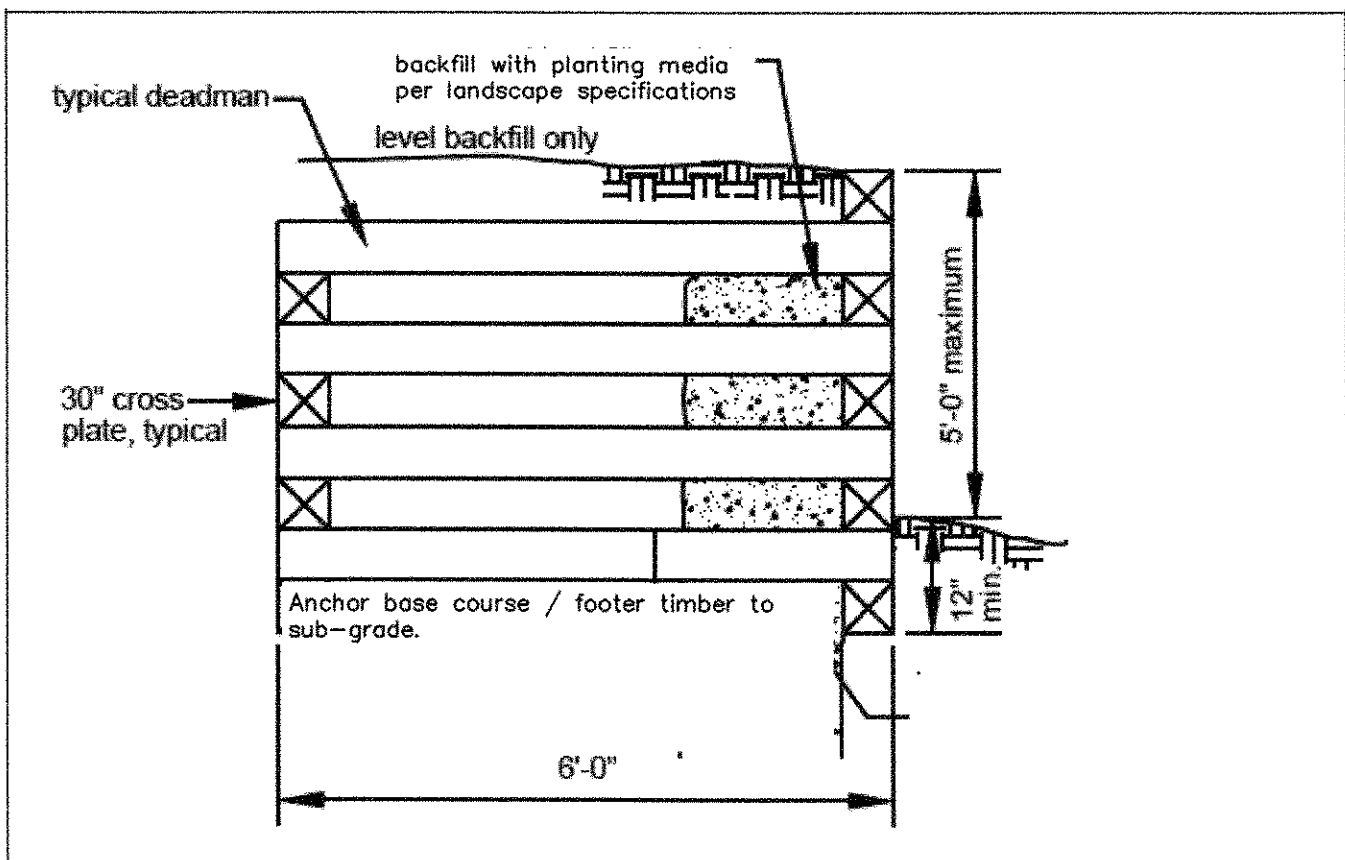
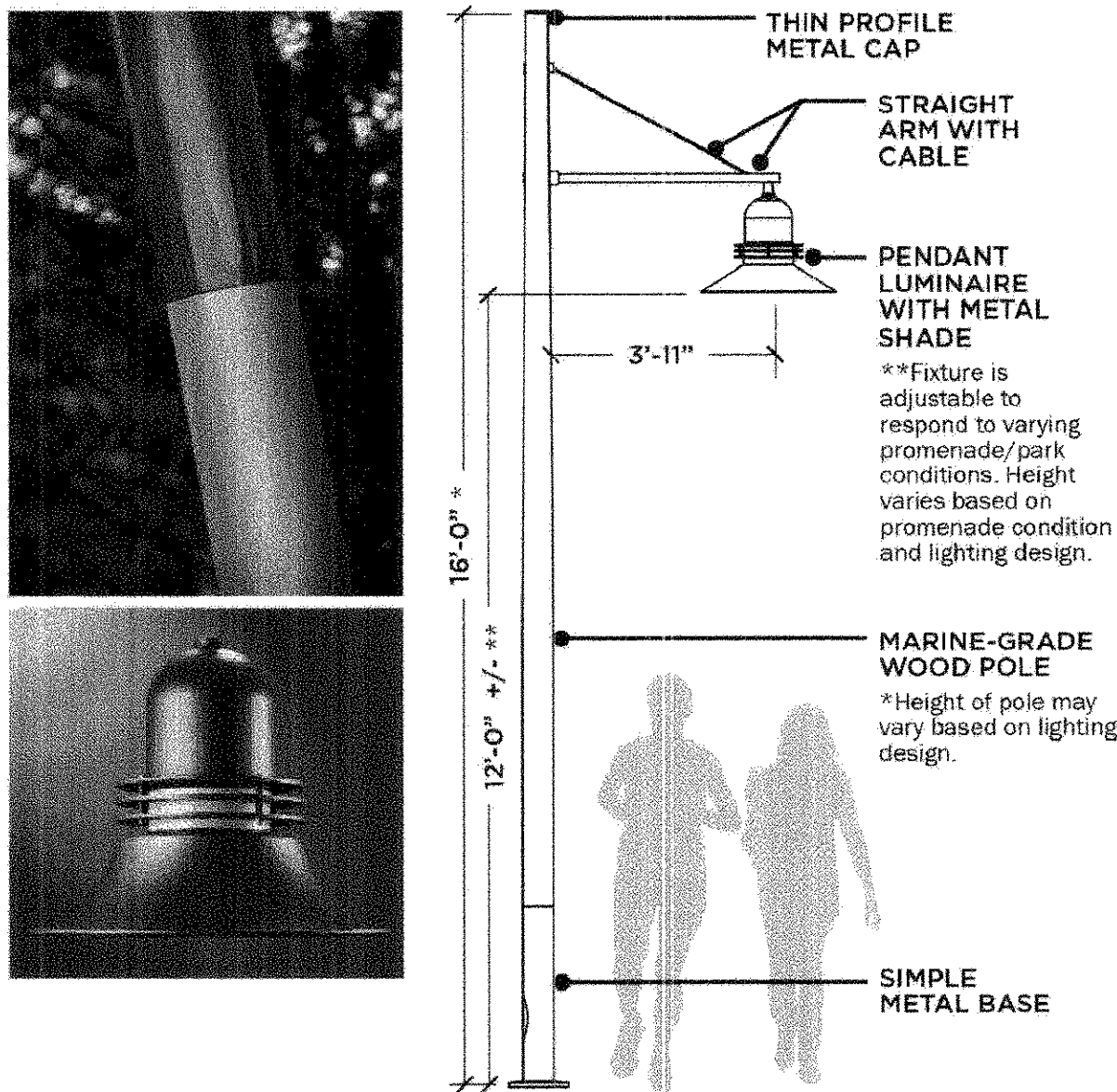


FIGURE 2: TYPICAL SECTION

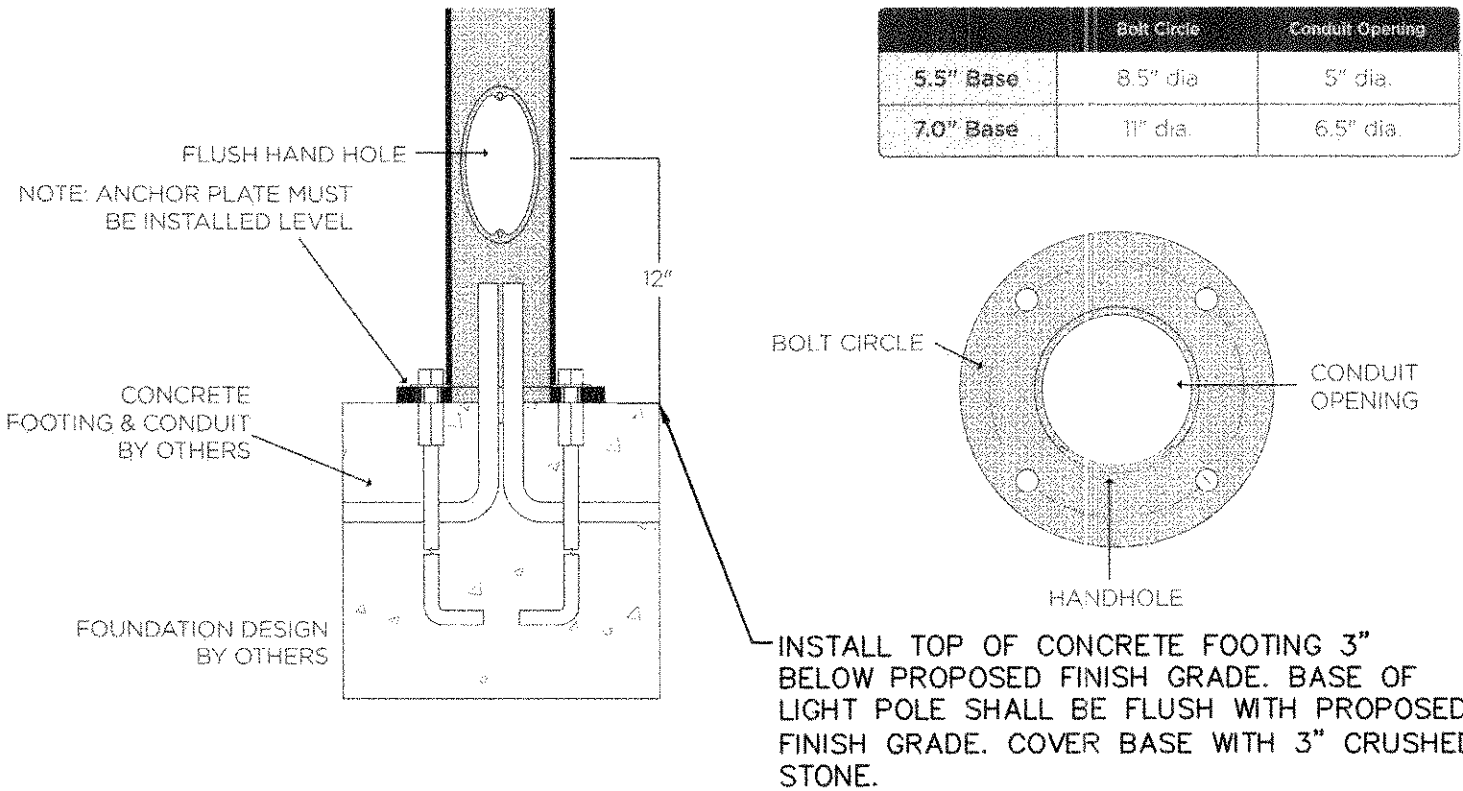
**METAL FINISH**  
BLK - BLACK  
**WOOD FINISH**  
COLOR S4 - IPE

**PRICING (ESTIMATE):**  
STRUCTURA PRODUCTS  
BOLT-16-55-40-S4-BLK POLE  
WITH CAT-2S-PEN ARM(S)  
COOPER EPIC EMM-E04-LED-E1-  
T4-SR-FL-BK LIGHT FIXTURE



### PROMENADE LIGHT POLE: BID OPTION 1

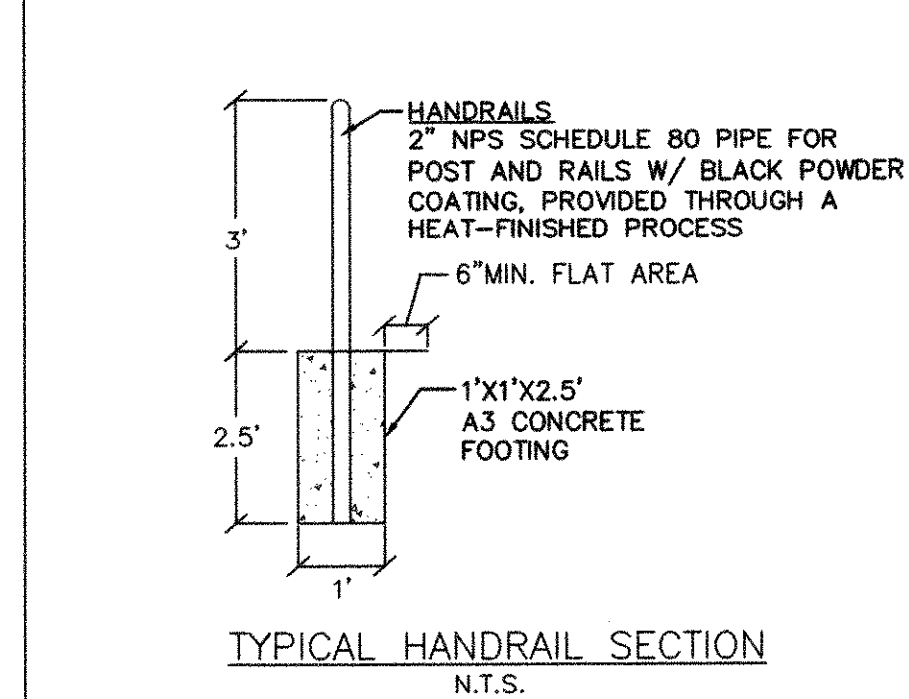
1. FURNISH AND INSTALL LIGHT POLES IN THE LOCATIONS INDICATED ON THE PLANS.
2. BASIS OF POLE DESIGN IS THE 16\"/>



ORDERING GUIDE: EXAMPLE: BOL-S-12-55-55-53-SILT-X-T3124-S-TO

### PROMENADE LIGHT FOUNDATION

N.T.S.



### HAND RAILS

1. INSTALL HANDRAILS PER THE CITY STANDARD DETAILS AND NOTES.
2. POWDER COAT FINISH SHALL BE BLACK. SUBMIT SAMPLES FOR REVIEW AND APPROVAL.
3. PROVIDE A 5 YEAR WARRANTY ON HAND RAIL, INCLUDING THE POWDER COAT FINISH.
4. SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL.

### 8' - 24' Round Tapered and Straight Wood Poles

Glulam solid wood and aluminum pole available in 8' - 24' lengths. Tenon adapters, slip fittings and side bracket mounts are available for luminaire mounting.

#### FEATURES:

- Round extruded aluminum pole base with flush handhole cover held with countersunk stainless steel fasteners.
- Tapered, round, solid glulam wood pole

#### SPECIFICATIONS:

**HOUSING:** Solid wood pole is assembled through glulam construction and precision machined using CNC technology. An electrical raceway is provided in the pole's center for wiring. Laminations measure no more than 2" in thickness. Adhesive complies with ASTM D-2559 glulam construction specifications for extreme exposed weather conditions, is waterproof and rated for wet or dry use exposure.

Glulam wood shaft is fastened to aluminum pole base welded to a 3/4" thick aluminum anchor bolt base. Anchor bolt kit includes (4) 3/4" hot dip galvanized anchor bolts and fasteners and ridged concrete pour template.

**FIXTURE MOUNTING:** Fixtures mount either by 2 3/8", 2 7/8", 3 1/2", or 4" diameter by 4" tall tenon or drill mount for arm brackets. Consult factory for other tenon sizes. Luminaires shall be provided by others.

**ELECTRICAL:** A 5/16" - 18 grounding point is provided on the aluminum pole base. Wireway access is provided through a NEC compliant handhole with a flush, gasketed cover plate.

**FINISHES AND MATERIALS:** Woods are finished with a low VOC waterborne matte exterior finish containing UV and mildew inhibitors. All aluminum parts are polyester powder coat painted.

**HARDWARE:** Fasteners are stainless steel. Anchor bolt kits are hot dip galvanized.

#### PURPOSE

Hand rails shall be placed in locations where ramps change 6 inches or more in grade and on stairs. Handrails may also be used in conjunction with walls 1 foot-6 inches or more in vertical height.

#### GENERAL INFORMATION

Hand rails shall be installed consistent with state and local building code and federal ADA standards.

#### MATERIALS AND FINISH

Hand rails shall be constructed of durable materials such as galvanized steel, recycled composite resin or other appropriate splinter free, exterior material.

Metal finishing shall be of high-quality, permanent, black powder coating, provided through a heat-finished process.

Metal products shall have smooth welds, joints and properly treated corners. Joint fasteners shall be imbedded or sealed.

Composite resin shall be structural grade composed of 50% wood fiber and 50% polyethylene or fiberglass.

#### FEATURES

If site requirements cause changes to height, design or color contradictory to these guidelines, the proposed design shall be approved for compliance with accessibility needs by the Department of Recreation, Parks and Cultural Activities.

In heavy use areas, skateboard deterrents may be required.

#### INSTALLATION

Secure rails through a permanent in-ground or surface method consistent with manufacturer's recommendations.

Provide hand rails on both sides of the path.

Handrails shall be 5 feet minimum horizontal length.

Engineer and anchor hand rails to withstand loads per USBC.

#### LIFE CYCLE EXPECTATIONS

A 5 year minimum warranty is required.

Hand rails are anticipated to require replacement after 20 years of normal and ordinary use.

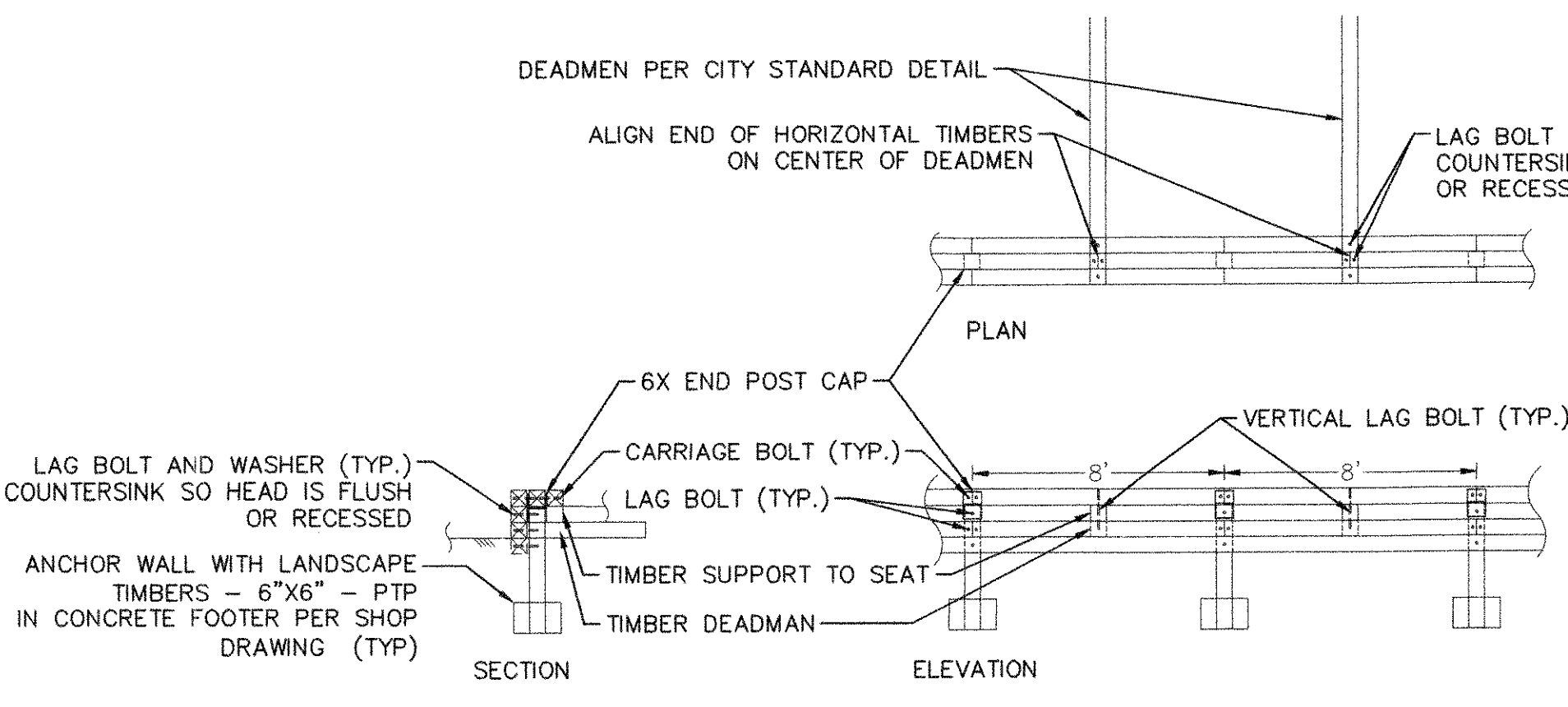
### TYPICAL HANDRAIL NOTES

POWER AND LUMENS BY BAR COUNT (21 LED LIGHTS/BS)				
Number of Light/BSs	E01	E02	E03	E04
Drive Current	360mA	360mA	360mA	360mA
Power (Watts)	25W	52W	79W	97W
Current @ 120V (A)	0.22	0.44	0.63	0.82
Current @ 277V (A)	0.10	0.20	0.28	0.36
Power (Watts)	31W	58W	80W	99W
Current @ 347V (A)	0.11	0.19	0.26	0.29
Current @ 480V (A)	0.09	0.15	0.20	0.21
Lumens	2,848	5,886	8,844	11,792
T2 BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B4-U0-G4
Lumens	2,356	5,975	8,868	11,745
T3 BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B4-U0-G4
Lumens	2,876	5,752	8,627	11,503
T4 BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G3
Lumens	3,054	6,108	9,161	12,215
SWQ BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2
Lumens	2,887	5,975	8,862	11,849
SWQ BUG Rating	B2-U0-G1	B2-U0-G1	B3-U0-G2	B4-U0-G2
Lumens	2,960	5,969	8,945	11,929
SWQ BUG Rating	B2-U0-G1	B2-U0-G2	B3-U0-G3	B4-U0-G3
Lumens	2,879	5,756	8,634	11,512
SL2 BUG Rating	B1-U0-G1	B1-U0-G2	B3-U0-G2	B2-U0-G2
Lumens	2,884	5,758	8,682	11,576
SL3 BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2
Lumens	2,823	5,647	8,475	11,294
SL4 BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2
Lumens	2,957	5,916	8,873	11,699
RW BUG Rating	B2-U0-G2	B2-U0-G2	B3-U0-G3	B2-U0-G3
Lumens	2,616	5,231	7,847	10,462
SL1/SLR BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G3

### COOPER EPIC MODERN EMM-E04-LED-E1-T4-SR-FL-BK

#### ORDERING INFORMATION

Product Family	Number of Light/BSs	Lamp Type	Voltage	Distribution	Mid Section Type	Shaft Type	Color
ECM-Epic Classic Medium	E04-(21) 21 LED Light/BSs	LED-Strip	120-277V	T2-Type II	S4-Solid	S4-Straight Narrow	AP-Grey
ECM-Epic Modern Medium	E04-(21) 21 LED Light/BSs	LED-Strip	120-277V	T3-Type III	S4-Solid	S4-Straight Wide	BZ-Bronze
	E04-(21) 21 LED Light/BSs	LED-Strip	120-277V	T4-Type IV	S4-Solid	S4-Straight Wide	BL-Black
	E04-(21) 21 LED Light/BSs	LED-Strip	120-277V	T4-Type IV	S4-Solid	S4-Straight Wide	DP-Dark
	E04-(21) 21 LED Light/BSs	LED-Strip	120-277V	T4-Type IV	S4-Solid	S4-Straight Wide	GM-Graphite
	E04-(21) 21 LED Light/BSs	LED-Strip	120-277V	T4-Type IV	S4-Solid	S4-Straight Wide	MD-Metallic
	E04-(21) 21 LED Light/BSs	LED-Strip	120-277V	T4-Type IV	S4-Solid	S4-Straight Wide	WH-White



### TIMBER RETAINING WALL WITH SEAT WALL

N.T.S.

NAD83 VIRGINIA STATE PLANES, NORTH ZONE, US FOOT

### FINAL PLANS



CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

### REVISIONS

#### DATE

#### DESCRIPTION

#### PROJECT NO.:

#### DATE OF PLAN ISSUANCE:

#### CONSULTANT PROJECT ID.:

#### DESIGNED BY:

#### DRAWN BY:

#### CHECKED BY:

#### APPROVED BY:

### DETAILS-5

#### SHEET

22 of 31

SCALE NONE

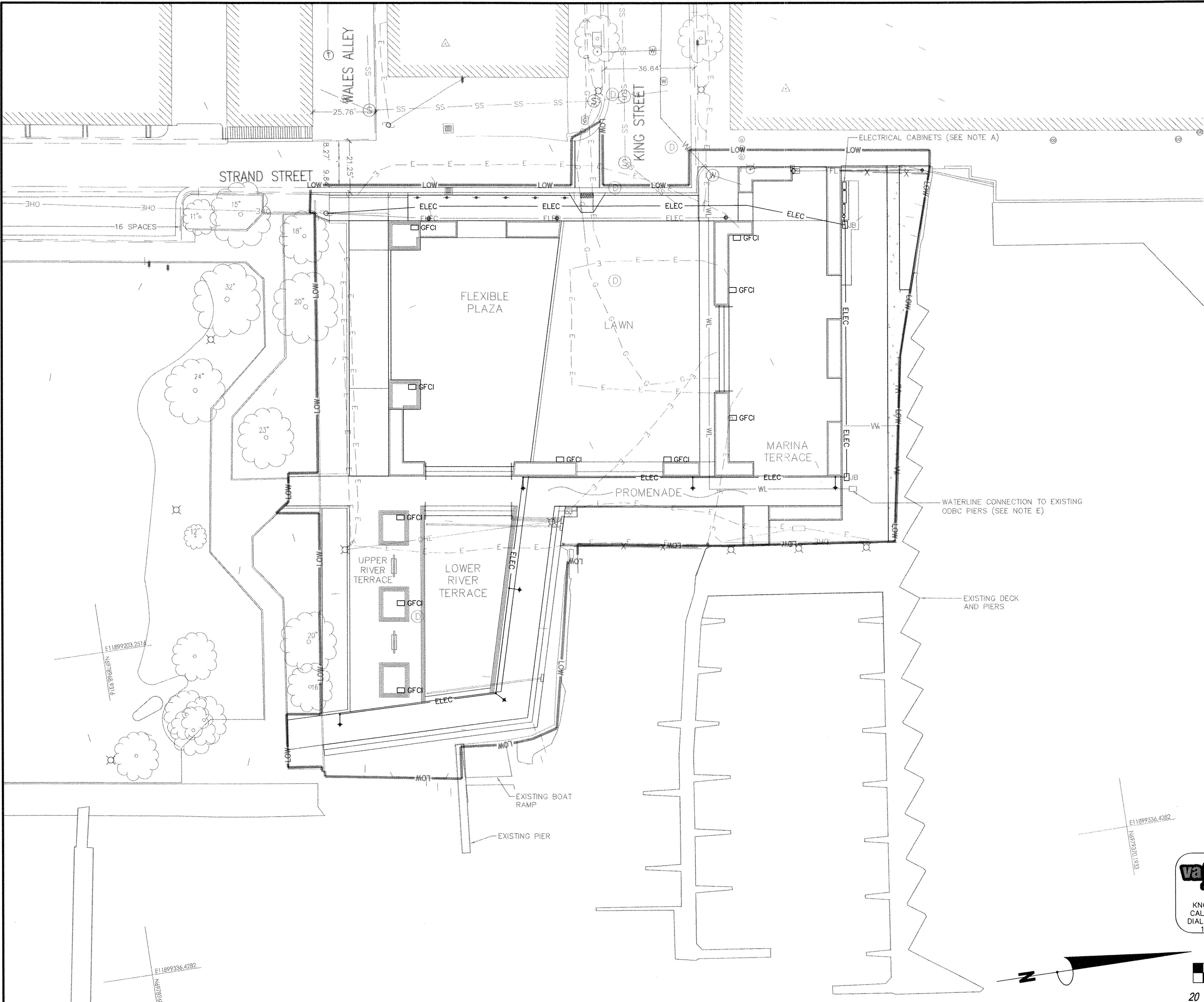












LEGEND

- PROPOSED LIGHTING - SINGLE HEAD (NOTE F)  
(OPTION 1 - PROMENADE LIGHTING)
- PROPOSED CITY STANDARD STREETLIGHTS  
HISTORIC ALEXANDRIA STREET LIGHT LED FIXTURE  
(BY OTHERS - SEPARATE CONTRACT)
- LOW - LIMIT OF WORK
- ELEC - PROPOSED ELECTRIC LINE (SEE NOTE F)
- JB - PROPOSED ELECTRIC JUNCTION BOX (SEE NOTE F)
- GFCI - PROPOSED 2 PLUG WATERPROOF GFCI (BASE BID)

OPTION 1, PROMENADE LIGHTING, INCLUDES:  
THE PROMENADE LIGHTING (SINGLE HEAD), THE  
CONDUIT AND ELECTRICAL WIRE FROM THE  
ELECTRICAL CABINETS TO EACH OF THE PROMENADE  
LIGHTS, AND THE ASSOCIATED JUNCTION BOXES.

NOTES:

- ELECTRICAL CABINETS AND ELECTRICAL LINE ALONG  
STRAND STREET TO THE EXISTING DOMINION  
ENERGY POLE TO BE CONSTRUCTED UNDER  
SEPARATE CONTRACT ("MARINA UTILITY  
IMPROVEMENTS").
- CONTRACTOR TO FURNISH AND INSTALL  
PROMENADE LIGHTING IN THE LOCATIONS SHOWN  
ON THE PLANS. FIELD COORDINATE LOCATIONS  
WITH CITY PRIOR TO INSTALLATION.
- AS A PART OF THIS OPTION, CONTRACTOR SHALL  
CONSTRUCT ALL CONCRETE FOOTERS, INSTALL  
CONDUIT AND PULL WIRE THROUGH CONDUIT AND  
LIGHT POLES, AND MAKE ALL POWER CONNECTIONS  
TO PROVIDE A FUNCTIONAL LIGHT SYSTEM.
- ALL POWER-RELATED WIRING AND CONNECTIONS  
SHALL BE MADE BY A LICENSED ELECTRICIAN WITH  
ALL REQUIRED PERMITS.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, AS  
NEEDED, FOR CITY REVIEW AND APPROVAL AND  
PERMITS.
- SEE NOTE 1 ON SHEET 3 RELATED TO THE BASIC  
FLOOD ELEVATION (10.2' NAVD88)

FINAL PLANS



CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS	DESCRIPTION
DATE	BY

ALEXANDRIA PROJECT NO.:	
DATE OF PLAN ISSUANCE:	
CONSULTANT PROJECT ID.:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
APPROVED BY:	

INTERIM FITZGERALD SQUARE - DSP# 2016-00035

OPTION 1 - PROMENADE  
LIGHTING PLAN

SHEET  
25 OF 31

SCALE 1" = 20'



APPROVED

SPECIAL USE PERMIT NO. \_\_\_\_\_  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE 2-23-18

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. DSP#2016-00035

DIRECTOR DATE 3/5/2018

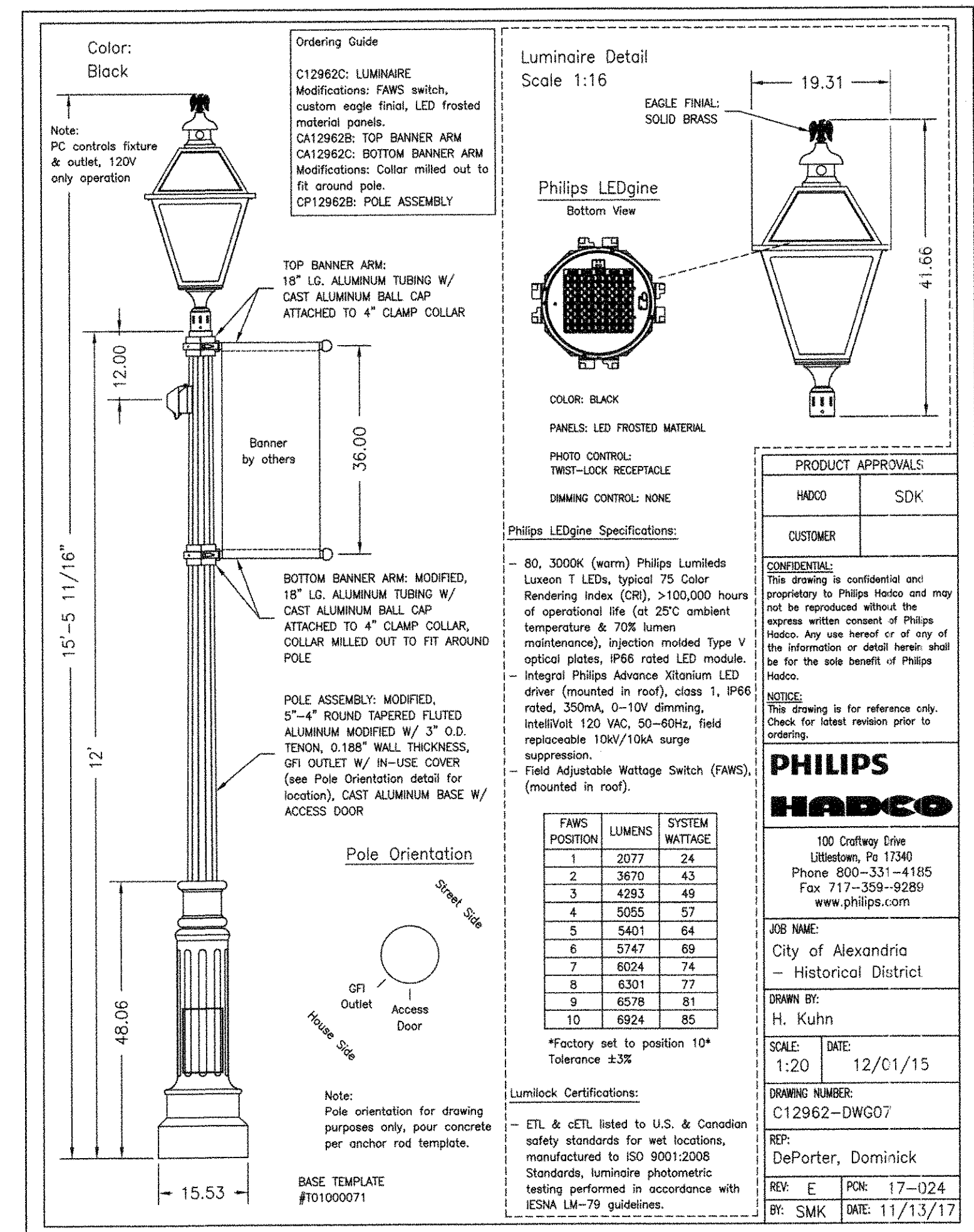
CHAIRMAN, PLANNING COMMISSION DATE 2-23-18

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

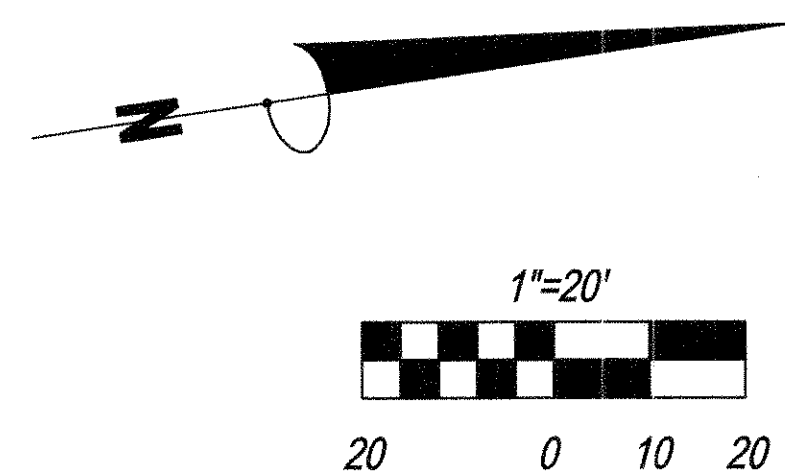
NAD83 VIRGINIA STATE PLANES, NORTH ZONE, US FOOT





NOTES:

- A. DETAIL ABOVE INDICATES FIXTURE HEIGHT.
- B. REFER TO DETAILS-5 AND OPTION 1 PROMENADE LIGHTING PLAN FOR MODEL AND LOCATION OF PROMENADE LIGHTS BID OPTION.



Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
Lawn	Illuminance	Fc	0.65	1.80	0.10	6.50	18.00	10ft Grid
Promenade	Illuminance	Fc	1.86	3.00	0.80	2.33	3.75	10ft Grid
Strand Sidewalk	Illuminance	Fc	1.64	2.20	0.60	2.73	3.67	10ft Grid
Strand Street	Illuminance	Fc	1.07	1.60	0.60	1.78	2.67	10ft Grid

**APPROVED**  
SPECIAL USE PERMIT NO. \_\_\_\_\_  
DEPARTMENT OF PLANNING & ZONING

*D. H. Galt* **2-23-18**  
DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. **DSP#2016-00035**

*J. J. Jones* **3/5/2018**  
DIRECTOR DATE

*Mark J. Lyman* **2-23-18**  
CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED \_\_\_\_\_

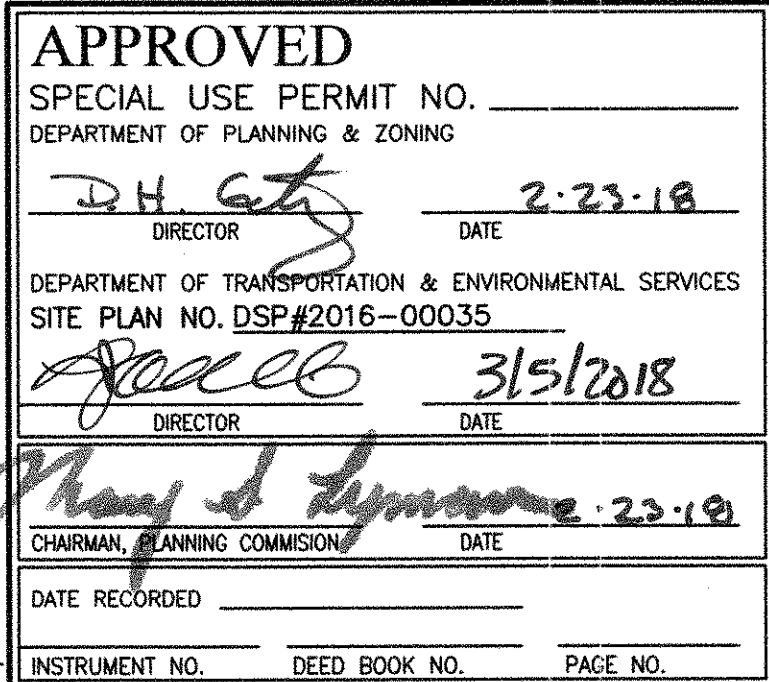
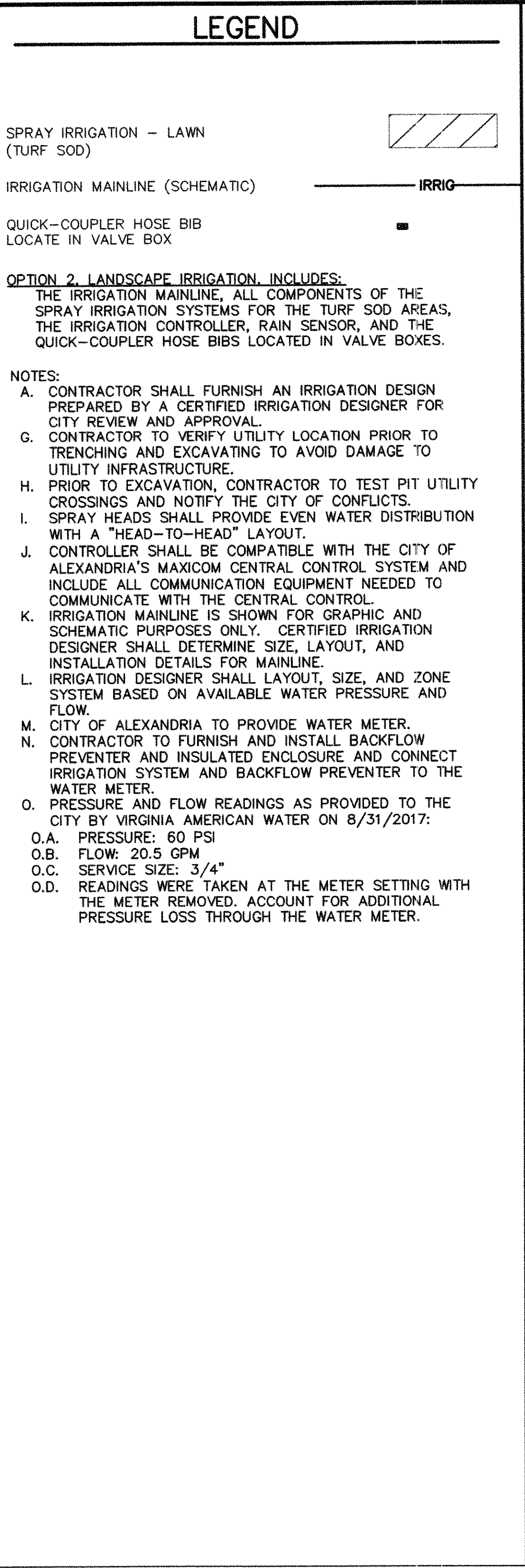
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**va811.com**  
Dig With **GOOG**

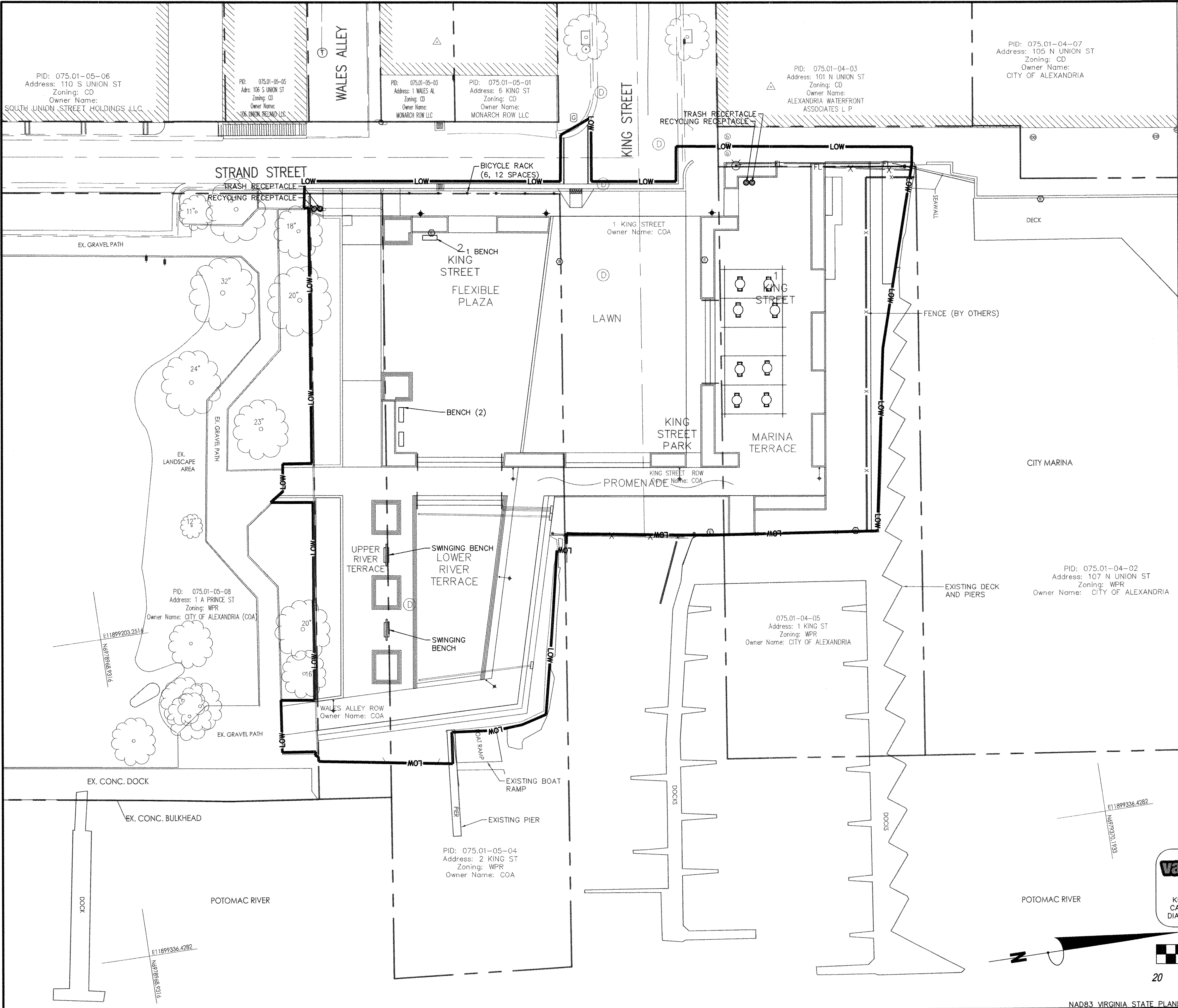
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### LEGEND

- PROPOSED BENCH - VICTOR STANLEY CLASSIC SERIES MODEL CR-6 - WITH BACK AND EDGE ARMS
- PROPOSED SWINGING BENCH - TIMBERFORM (BASE BID) RENAISSANCE - MODEL 2806-6-M (ITEM 1)
- PROPOSED WASTE RECEPTACLES - VICTOR STANLEY MODEL SD-42, WITH SIDE ACCESS HINGED DOOR.
- PROPOSED BIKE RACK (BASE BID)
- PROPOSED BLACK BISTRO TABLE AND 2 CHAIRS BASIS OF DESIGN - FERMOB 96CM BISTRO TABLE) -FERMOB DURAFLOON BISTRO, BOTH BLACK.

**OPTION 3, SITE FURNISHINGS, INCLUDES:**  
BENCHES, TABLES AND CHAIRS, TRASH RECEPTACLES, AND RECYCLING RECEPTACLES.

**NOTES:**

A. ALL SITE FURNISHINGS TO BE FINISHED BY MANUFACTURER WITH A BLACK POWDER COAT FINISH UNLESS SPECIFIED OTHERWISE.

B. WASTE RECEPTACLES -  
B.A. TRASH RECEPTACLE -SD-42  
B.A.A. BLACK POWDER COAT FINISH.  
B.A.B. PROVIDE OPTIONAL LID  
B.A.C. INCLUDE SIDE ACCESS HINGED DOOR AND PLASTIC INSERT/BIN.  
B.B. RECYCLING RECEPTACLE - SC-42  
B.B.A. BLUE POWDER COAT FINISH (RAL5010)  
B.B.B. PROVIDE OPTIONAL LID  
B.B.C. INCLUDE SIDE ACCESS HINGED DOOR AND PLASTIC INSERT/BIN.  
B.B.D. TOP BAND SHALL BE PAINTED WITH WHITE LETTERING "RECYCLING" WITH RECYCLING SYMBOL.

C. BENCHES  
C.A. TWO EXISTING BENCHES ARE CURRENTLY LOCATED ON SITE WHICH WILL BE REMOVED, STORED, AND FURNISHED BY THE CITY OF ALEXANDRIA TO THE CONTRACTOR FOR INSTALLATION IN THE LOCATIONS INDICATED ON THIS PLAN.

**NOTE REGARDING SITE FURNISHING BID OPTION:**  
TRASH RECEPTACLES ARE REQUIRED BY THE CONDITIONS OF THE DSP AND SUP AND WILL BE INSTALLED BY RPCA DIRECTLY IF THE BID OPTION IS NOT AWARDED IN ORDER TO COMPLY WITH THE CONDITIONS.

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1"=20'

NAD83 VIRGINIA STATE PLANES, NORTH ZONE, US FOOT

**APPROVED**

SPECIAL USE PERMIT NO. \_\_\_\_\_  
DEPARTMENT OF PLANNING & ZONING

DESIGNED BY: \_\_\_\_\_ DATE: 2-23-18  
DRAWN BY: \_\_\_\_\_ DATE: 3/5/2018  
CHECKED BY: \_\_\_\_\_ DATE: 2-23-18  
APPROVED BY: \_\_\_\_\_ DATE: 2-23-18

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. DSP#2016-00035

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE: 2-23-18

DATE RECORDED: \_\_\_\_\_  
INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

**FINAL PLANS**

**CITY OF ALEXANDRIA, VIRGINIA**  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS	DESCRIPTION
DATE	

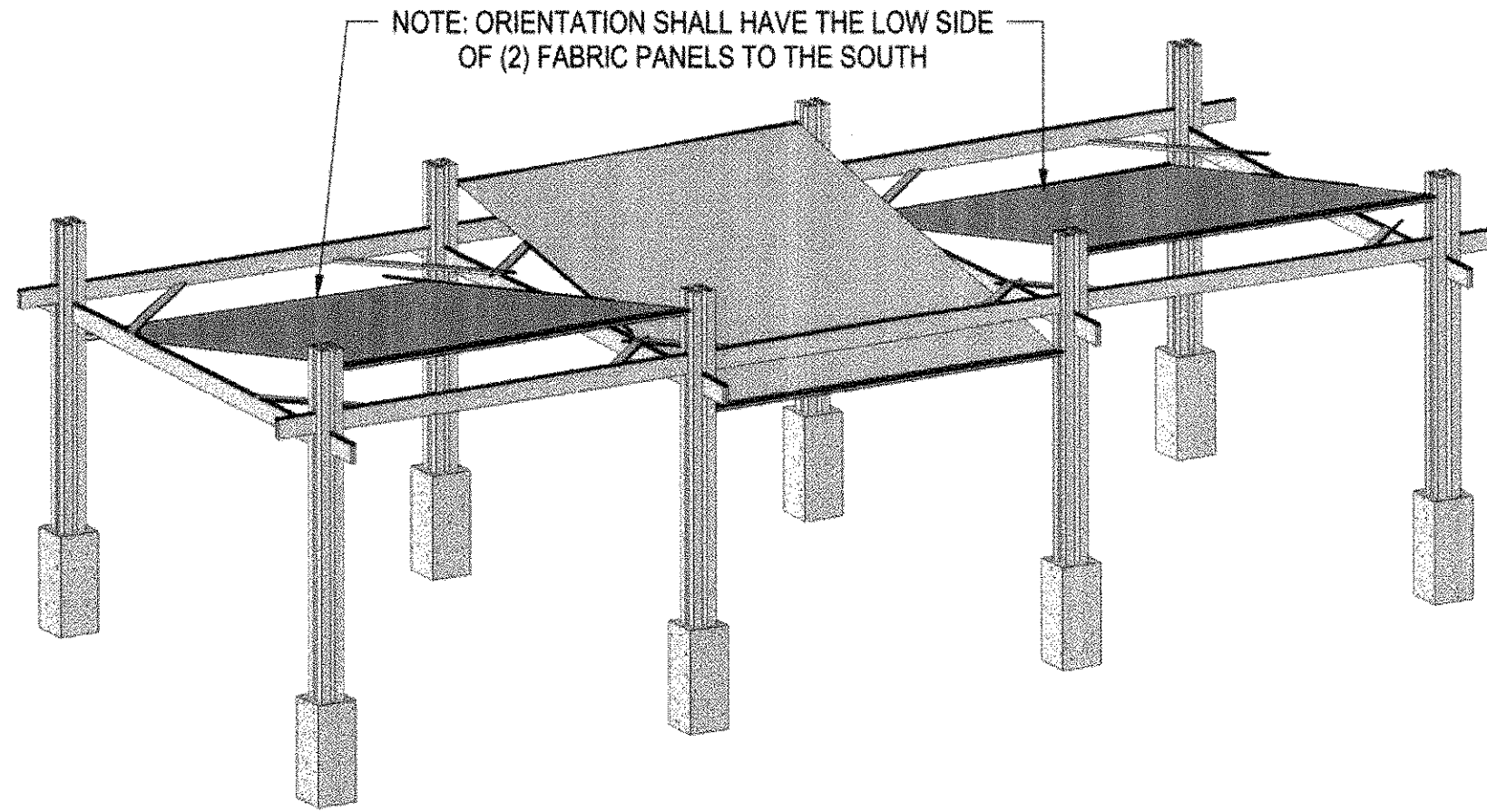
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DATE OF PLAN ISSUANCE: \_\_\_\_\_  
CONSULTANT PROJECT ID: \_\_\_\_\_  
DESIGNED BY: \_\_\_\_\_ DATE: 02/16/18  
DRAWN BY: \_\_\_\_\_ DATE: 02/16/18  
CHECKED BY: \_\_\_\_\_ DATE: 02/16/18  
APPROVED BY: \_\_\_\_\_ DATE: 02/16/18

**OPTION 3 - SITE FURNISHING PLAN**

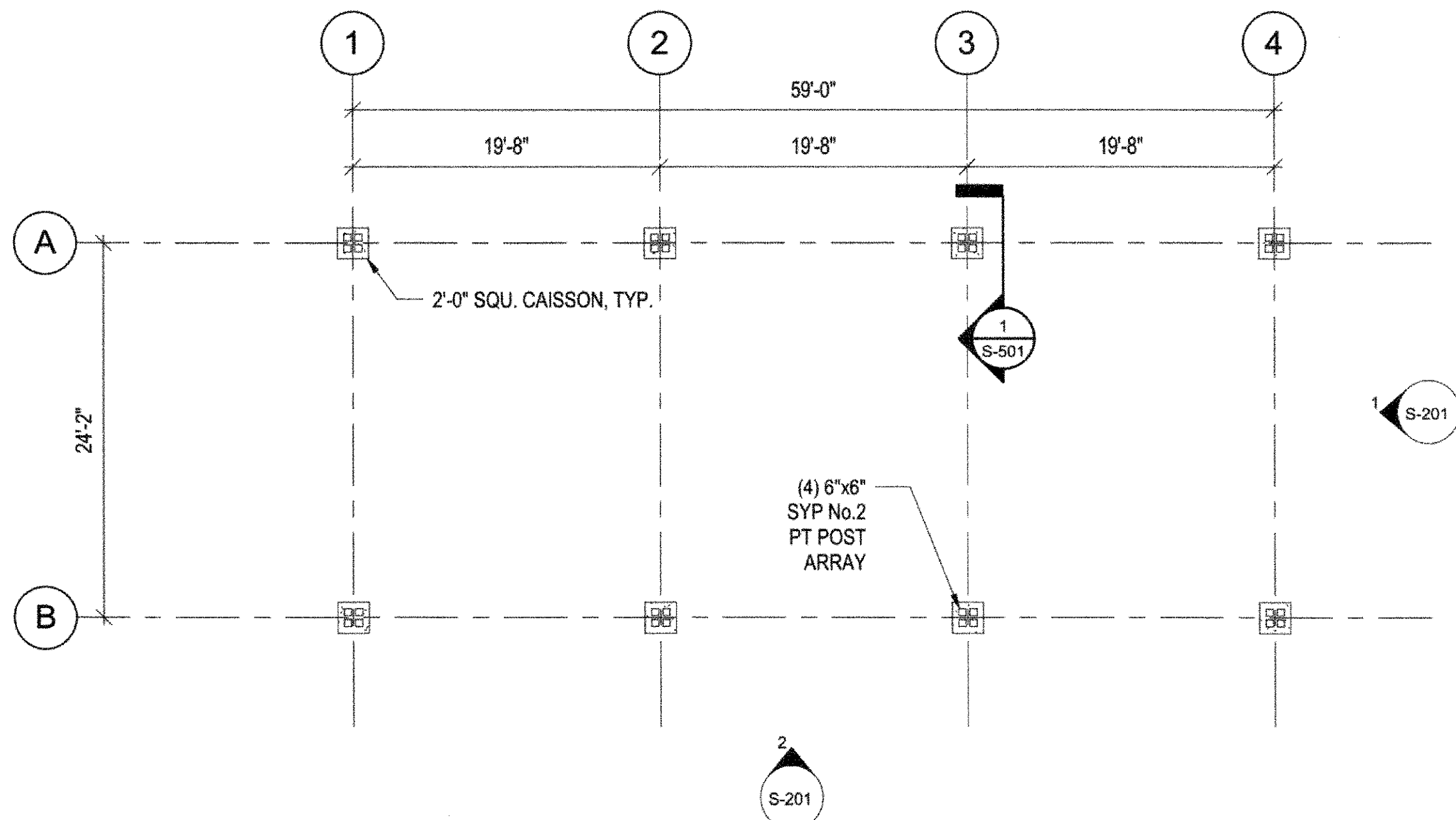
SHEET  
28 OF 31  
SCALE 1" = 20'

**INTERIM FITZGERALD SQUARE - DSP# 2016-00035**

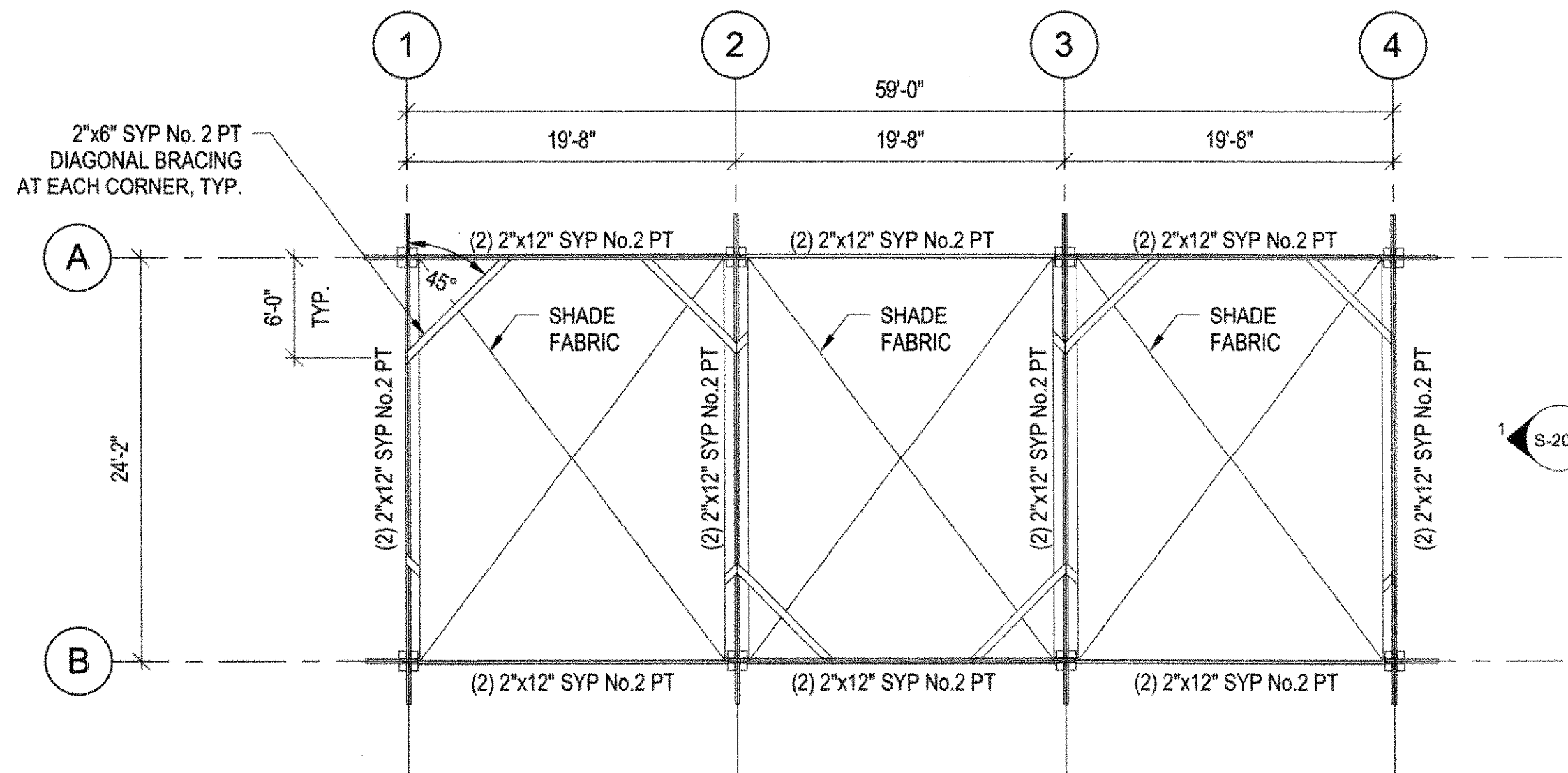




1 ISOMETRIC VIEW  
S-101



2 FOUNDATION PLAN  
S-101 1/8" = 1'-0"



3 CANOPY FRAMING PLAN  
S-101 1/8" = 1'-0"

## GENERAL STRUCTURAL NOTES

### 1.00 GENERAL

- 1.01 DRAWINGS SHOW TYPICAL AND CERTAIN SPECIFIC CONDITIONS ONLY. FOR DETAILS NOT SPECIFICALLY SHOWN, PROVIDE DETAILS SIMILAR TO THOSE SHOWN.
- 1.02 VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE STARTING WORK. NOTIFY ENGINEER OF ANY DISCREPANCY.
- 1.03 THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR
- 1.04 COORDINATE STRUCTURAL CONTRACT DOCUMENTS WITH ARCHITECTURAL. NOTIFY ENGINEER OF ANY CONFLICT AND/OR OMISSION. CONTRACTOR SHALL MAKE NO DEVIATION FROM DESIGN DRAWINGS WITHOUT WRITTEN APPROVAL OF THE ENGINEER.
- 1.05 ANY BRAND SPECIFIC MATERIALS MAY BE SUBSTITUTED W/ AN EQUIVALENT PRODUCT BY AN ALTERNATE MANUF. IF APPROVED BY THE ENGINEER OF RECORD, U.N.O.

### 2.00 CONCRETE

- 2.01 PRIOR TO CASTING FOUNDATIONS, PREPARE THE SITE IN ACCORDANCE WITH PLANS, SPECIFICATIONS AND REQUIRED COMPACTION.
- 2.02 UNLESS NOTED OTHERWISE, ALL CONCRETE SHALL BE NORMAL WEIGHT AND HAVE THE FOLLOWING MINIMUM 28-DAY COMPRESSIVE STRENGTHS:  
 $f_c$   
POST FOUNDATIONS ..... 3,000 PSI

### 3.00 WOOD FRAMING

- 3.01 ALL WOOD FRAMING MEMBERS ARE INTENDED TO ACT AS A SYSTEM AS DETAILED IN THE STRUCTURAL DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE SAFETY AND STABILITY OF THE WOOD FRAMING SYSTEMS (I.E. TEMPORARY BRACING IF REQUIRED) DURING CONSTRUCTION.
- 3.02 ALL SAWN LUMBER SHALL CONFORM TO THE AMERICAN SOFTWOOD LUMBER STANDARD, PS20-15. LUMBER SHALL BE OF THE SPECIES AND GRADE SHOWN BELOW, UNLESS NOTED OTHERWISE:  

MEMBER	GRADE
POST/COLUMNS	SOUTHERN YELLOW PINE No.2 PRESSURE TREATED
BEAMS	SOUTHERN YELLOW PINE No.2 PRESSURE TREATED
- 3.03 STORAGE OF ALL LUMBER AND TIMBER ON SITE SHALL BE KEPT OFF OF THE GROUND, UNDER COVER, AND PROTECTED FROM DAMAGE.
- 3.04 FASTENERS FOR PRESERVATIVE-TREATED AND FIRE-RETARDENT-TREATED WOODS SHALL BE OF HOT-DIPPED ZINC COATED GALVANIZED STEEL OR STAINLESS STEEL AND SHALL FOLLOW CURRENT MANUFACTURER'S GUIDELINES.
- 3.05 HOLES FOR BOLTS SHALL BE DRILLED WITH A BIT OF THE SAME NOMINAL DIAMETER AS THE BOLT + 1/16". LEAD HOLES FOR LAG SCREWS SHALL BE DRILLED PER NDS.
- 3.06 ALL BOLTS, CARRIAGE BOLTS, LAG SCREWS, EXPANSION BOLTS, AND EPOXY BOLTS SHALL BE INSTALLED WITH STANDARD CUT WASHERS AND NUTS THAT BEAR DIRECTLY ON THE WOOD. ALL NUTS SHALL BE TIGHTENED AT THE TIME OF INSTALLATION AND RE-TIGHTENED IF NECESSARY, DUE TO WOOD SHRINKAGE. PRIOR TO CLOSE-IN OR AT THE COMPLETION OF THE PROJECT. BOLTS AND LAG SCREWS SHALL CONFORM TO ANSI/ASME STANDARD B18.2.1. WOOD SCREWS SHALL CONFORM TO B18.6.1. ALL BOLTS SHALL CONFORM TO ASTM A307 GRADE A UNLESS NOTED OTHERWISE. THE MINIMUM STRENGTHS FOR LAG SCREWS AND WOOD SCREWS SHALL BE AS FOLLOWS:

WOOD SCREW DIAMETER-INCHES	MIN. BENDING YIELD STRENGTH (PSI)
0.138 (#6)	100,000
0.151 (#7)	90,000
0.164 (#8)	90,000
0.177 (#9)	90,000
0.190 (#10)	80,000
0.216 (#12)	80,000
0.246 (#14)	70,000
LAG SCREW DIAMETER-INCHES	MIN. BENDING YIELD STRENGTH (PSI)
1/4"	70,000
5/16"	60,000
3/8" AND GREATER	45,000

- 3.07 ALL NAILS FOR STRUCTURAL WORK SHALL BE COMMON WIRE NAILS UNLESS NOTED OR DETAILED OTHERWISE MEETING ASTM F1667. HOLES SHALL BE PRE-DRILLED WHERE NECESSARY TO PREVENT SPLITTING. NAILS SHALL HAVE THE MINIMUM PROPERTIES SPECIFIED IN THE TABLE BELOW:

NAIL TYPE	SHANK DIAMETER-INCHES	MIN. PENETRATION-INCHES	MIN. BENDING YIELD STRENGTH (PSI)
6d	0.113	1.13	100,000
8d	0.131	1.31	100,000
10d	0.148	1.48	90,000
12d	0.148	1.48	90,000
16d	0.162	1.63	90,000
20d	0.192	1.92	80,000

### 4.00 SUN SHADE FABRIC

- 4.01 SHADE CANOPY MATERIAL SHALL BE FIRE RETARDANT, UV RESISTANT, AND WITHSTAND THE APPLICABLE LOADING FROM THE DESIGN WIND LOAD CRITERIA LISTED BELOW. THE SHADE IS NOT REQUIRED TO BE RETRACTABLE BUT MUST BE REMOVABLE AND REPLACEABLE.
- 4.02 SHADE CANOPY MUST SHED WATER TO THE EDGES OF THE CANOPY OR WEEP THROUGH THE FABRIC TO PREVENT RISK OF COLLAPSE.
- 4.03 CONTRACTOR SHALL SUBMIT MATERIAL PRODUCT SPECIFICATIONS AND FINISH FOR REVIEW AND APPROVAL BY EOR.

### DESIGN CRITERIA - CODES AND SPECIFICATIONS

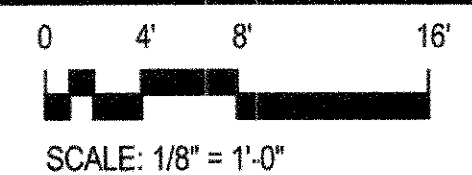
1. INTERNATIONAL BUILDING CODE 2015.
2. ASCE/SEI 7-10-MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
3. NDS 2015-NATIONAL DESIGN ASSOCIATION SPECIFICATION FOR WOOD CONSTRUCTION.

### DESIGN LOADS

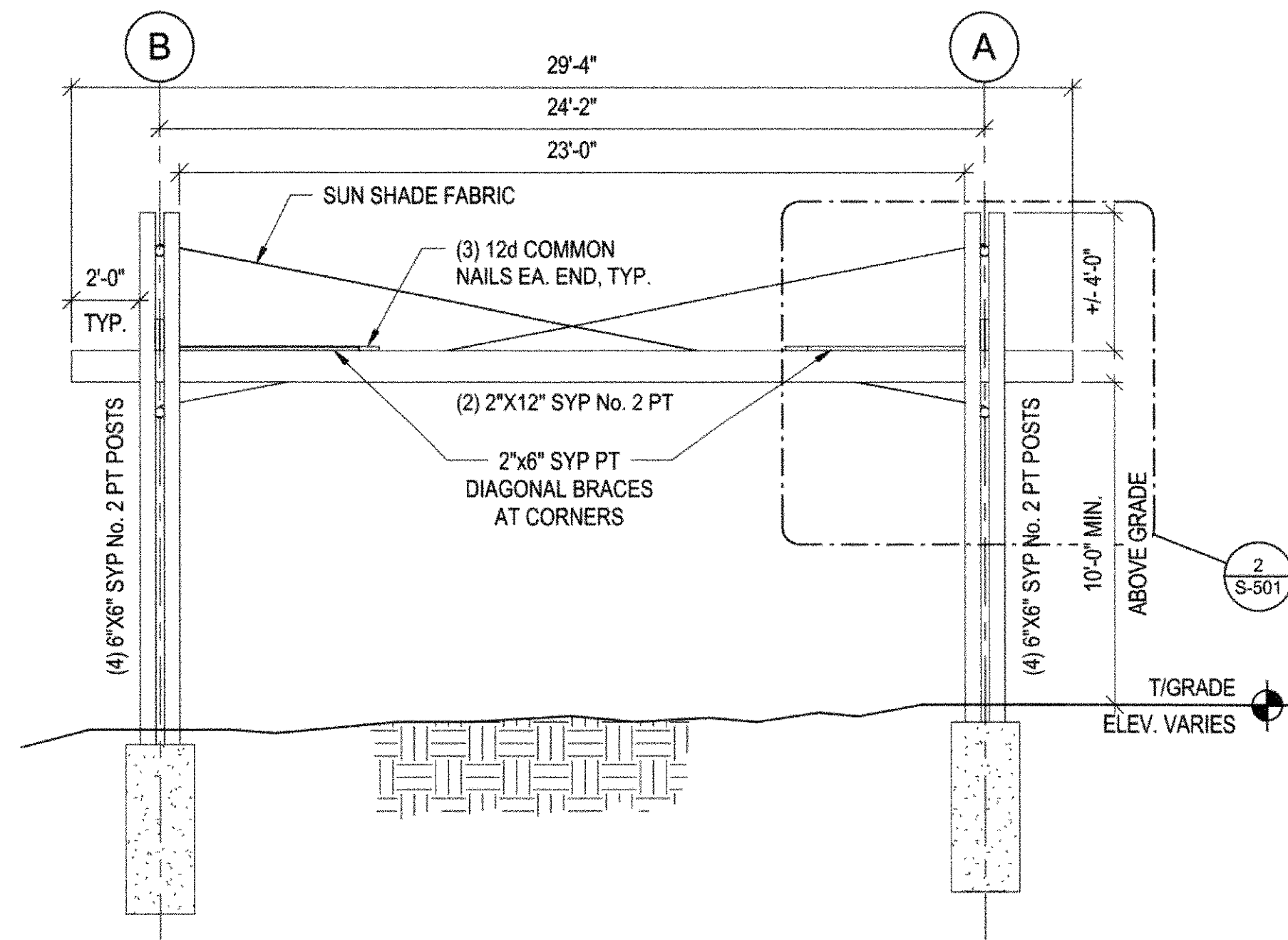
#### WIND LOAD

BASIC WIND SPEED (ULTIMATE).....	105 MPH
BASIC WIND SPEED (NOMINAL).....	81 MPH
RISK CATEGORY.....	I
WIND EXPOSURE.....	C
BUILDING CATEGORY.....	OPEN

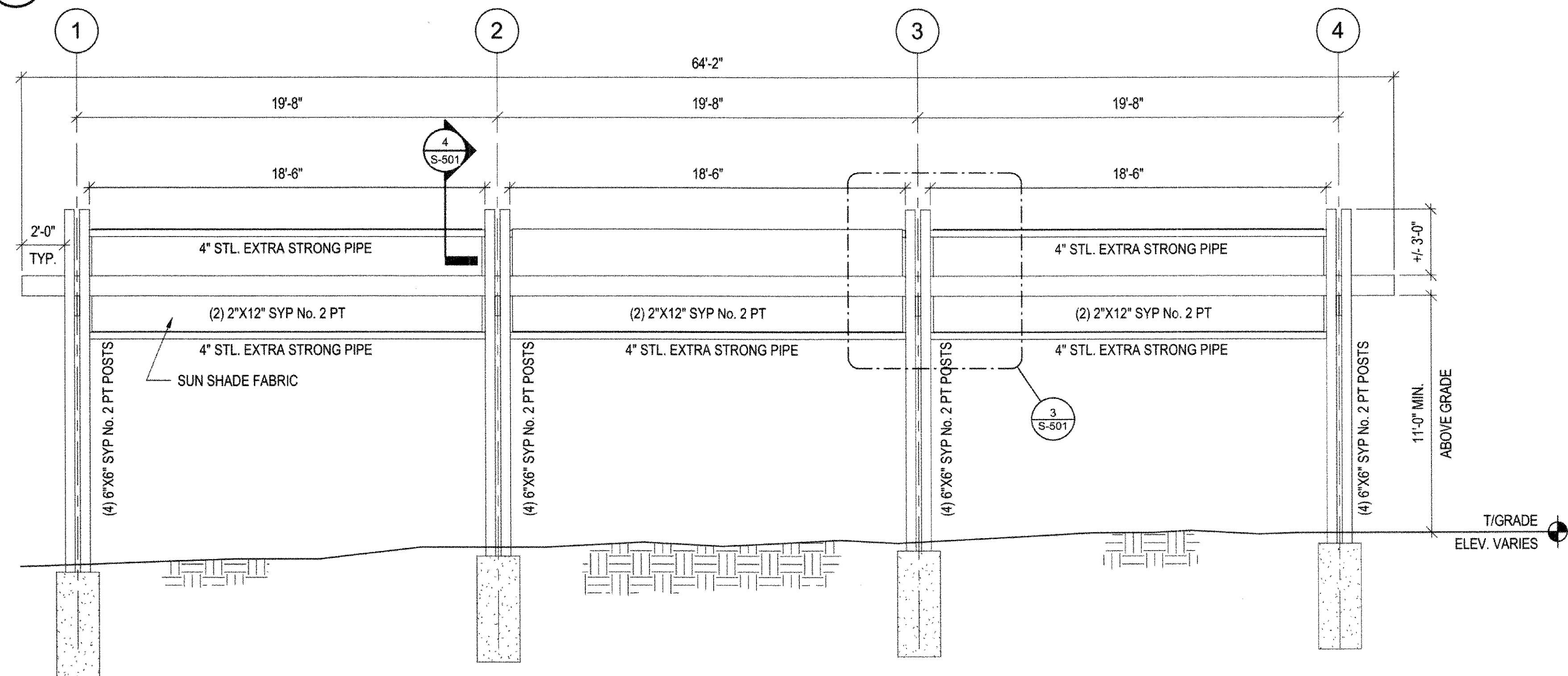
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DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. DSP#2016-00035	
DIRECTOR _____	DATE 3/5/2018
CHAIRMAN, PLANNING COMMISSION _____	
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1 TRANSVERSE ELEVATION  
S-201 1/4" = 1'-0"

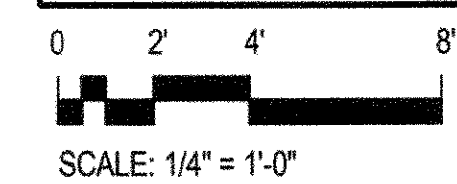


2 LONGITUDINAL ELEVATION  
S-201 1/4" = 1'-0"

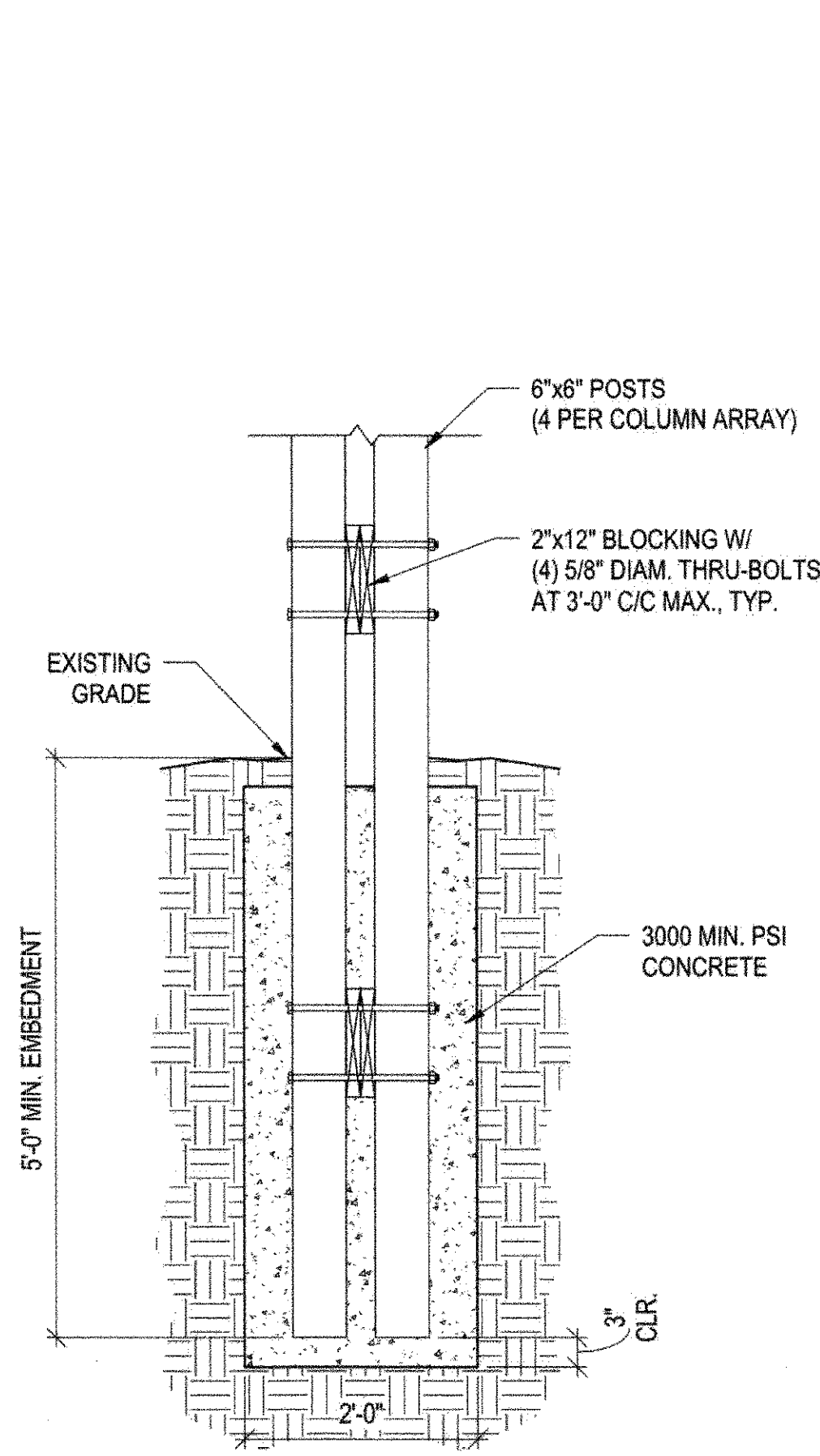
### ELEVATION SHEET NOTES:

- REFER TO TYPICAL DETAILS FOR MINIMUM CONNECTION REQUIREMENTS.

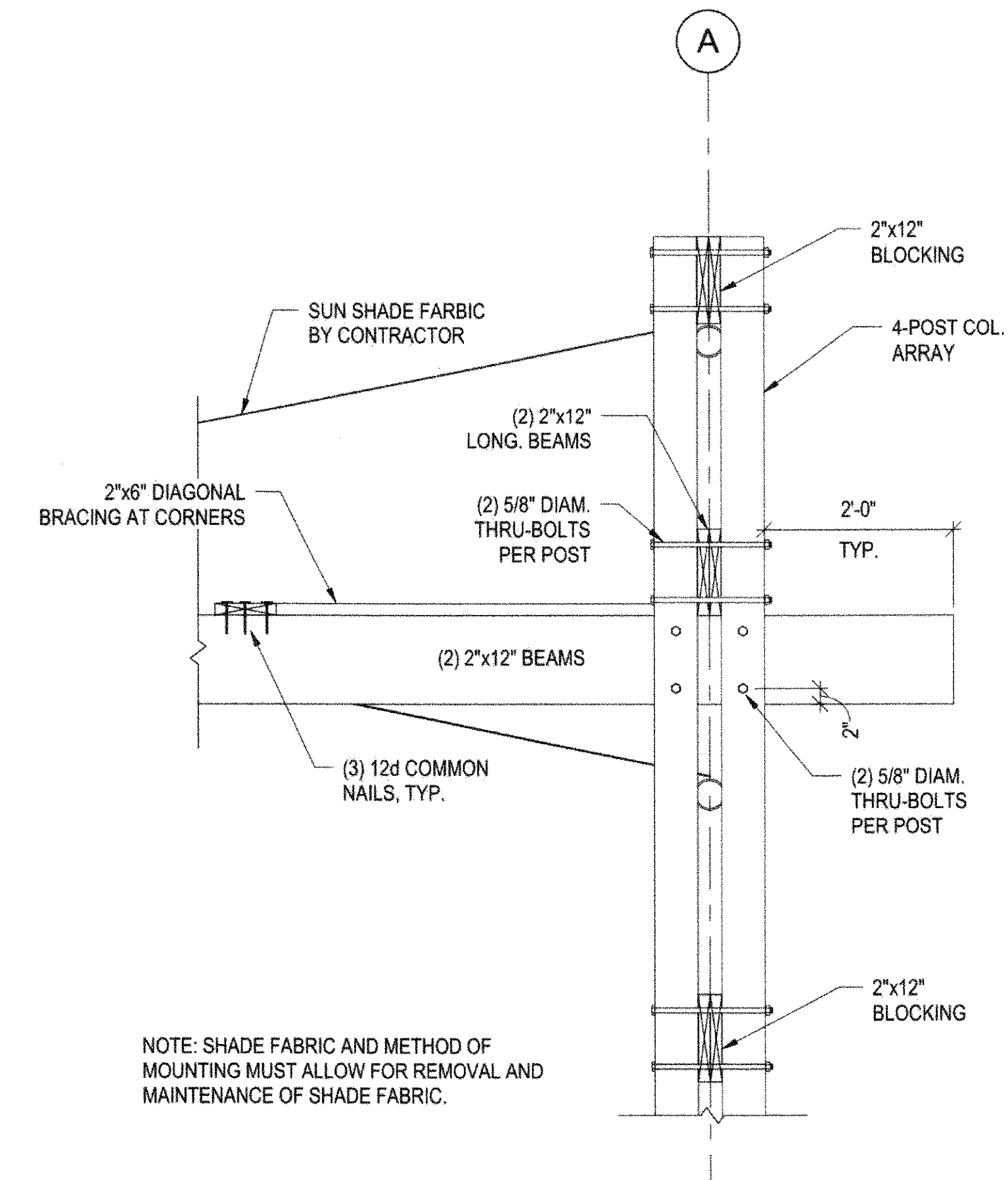
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SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. DSP#2016-00035	
<i>[Signature]</i>	3/5/2018
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION _____ DATE _____	
DATE RECORDED _____	
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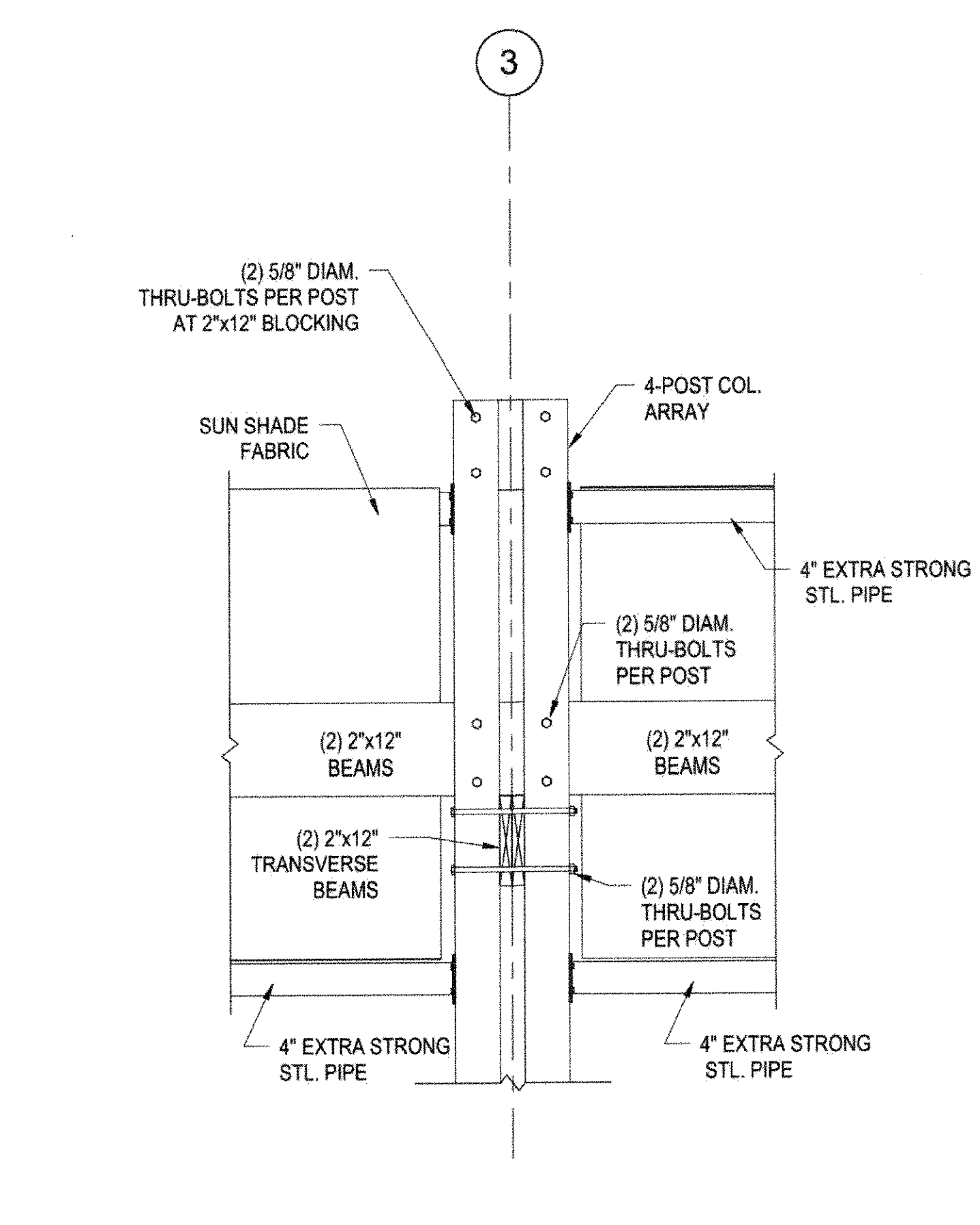




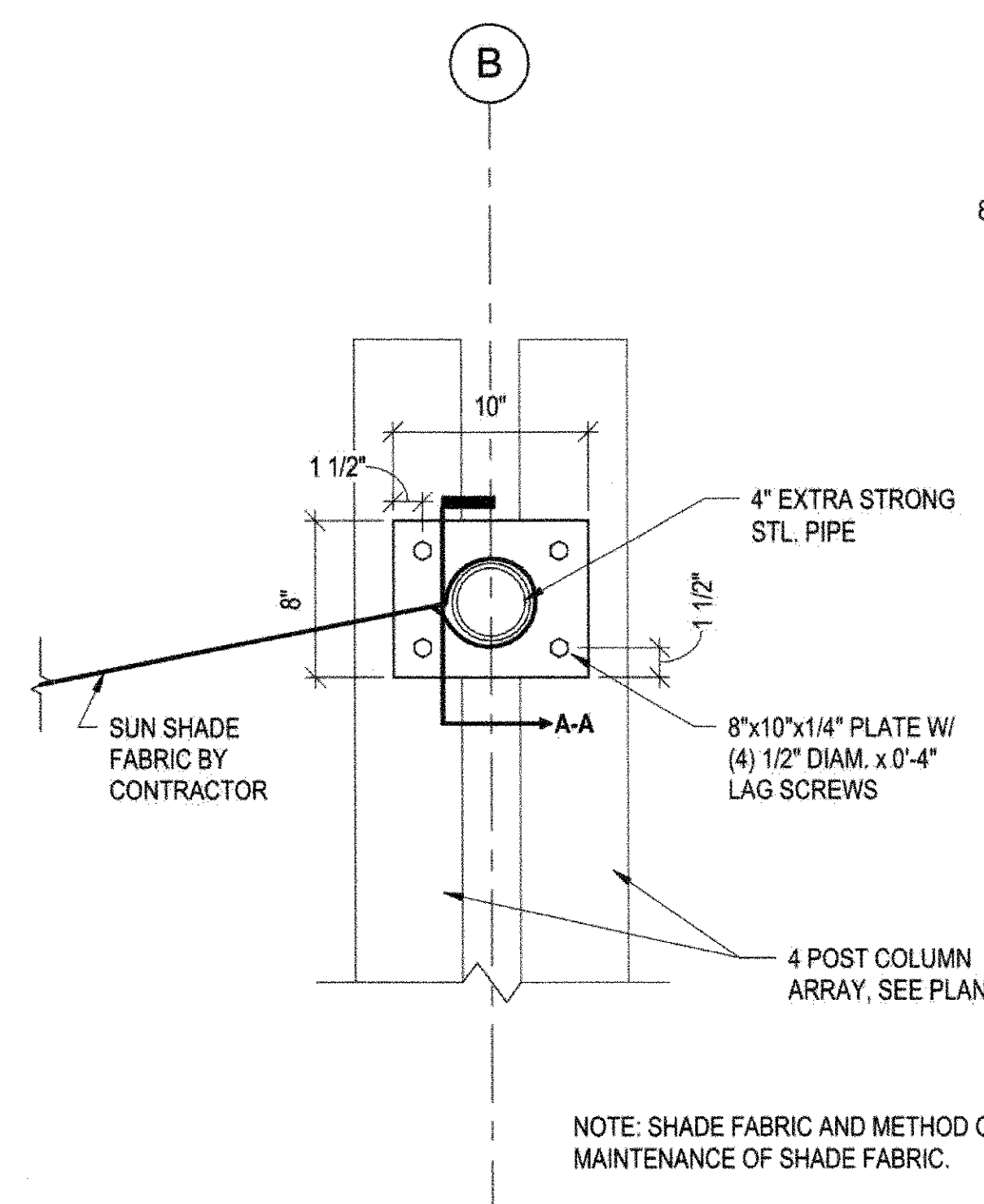
1 POST FOOTING  
S-501 3/4" = 1'-0"



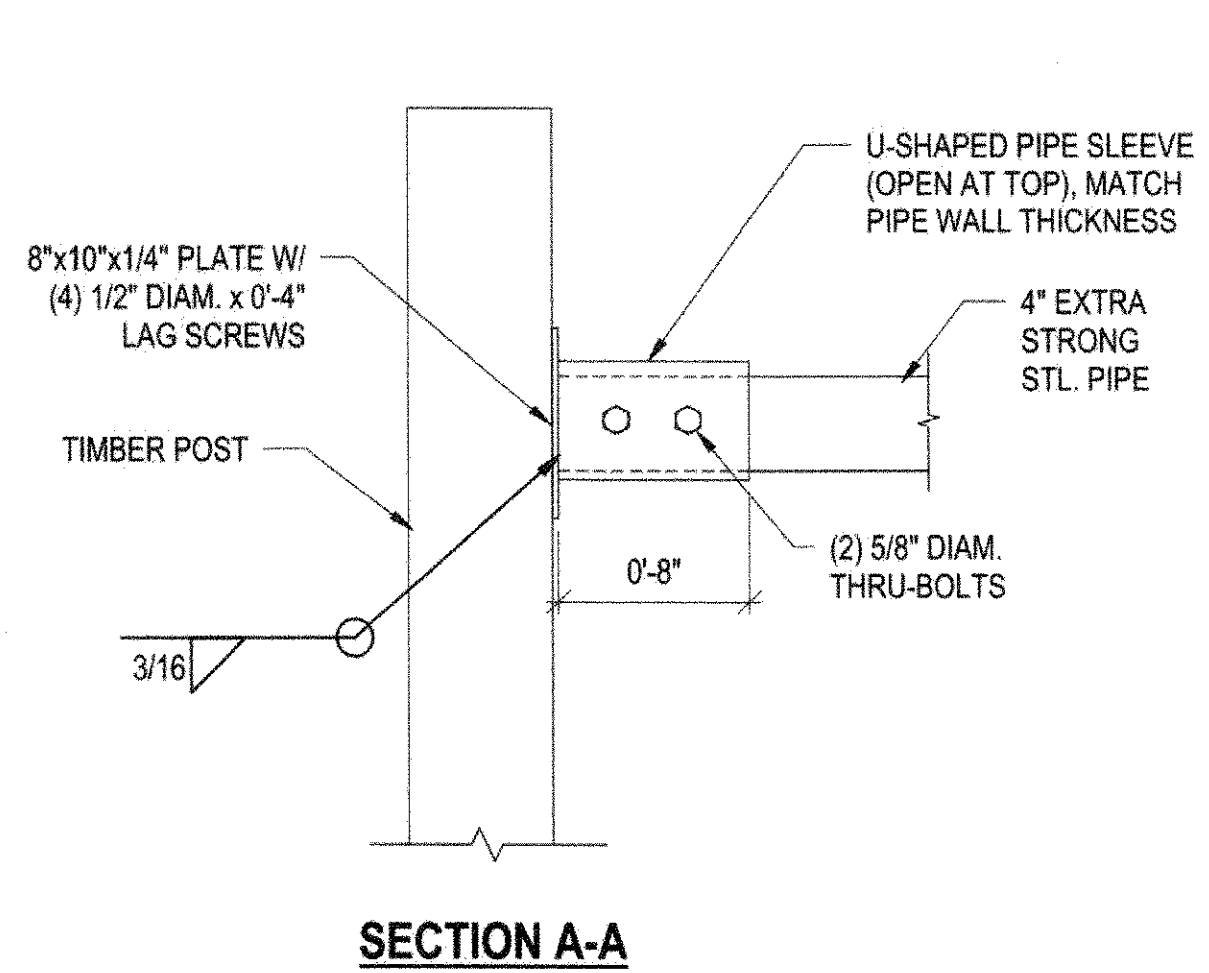
2 TRANVERSE BEAM CONNECTION  
S-501 3/4" = 1'-0"



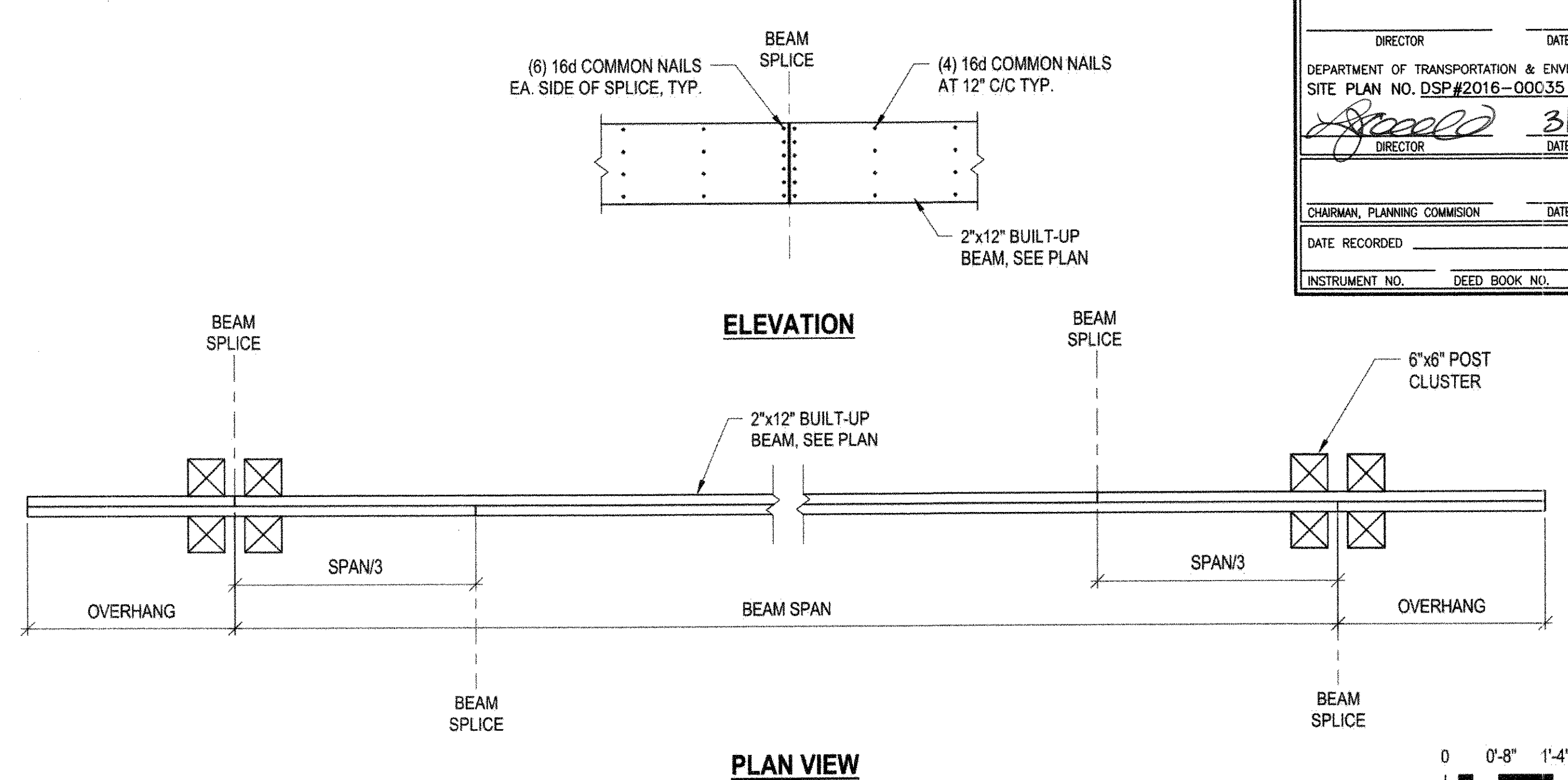
3 LONGITUDINAL BEAM CONNECTION  
S-501 3/4" = 1'-0"



4 FABRIC SUPPORT PIPE  
S-501 1 1/2" = 1'-0"



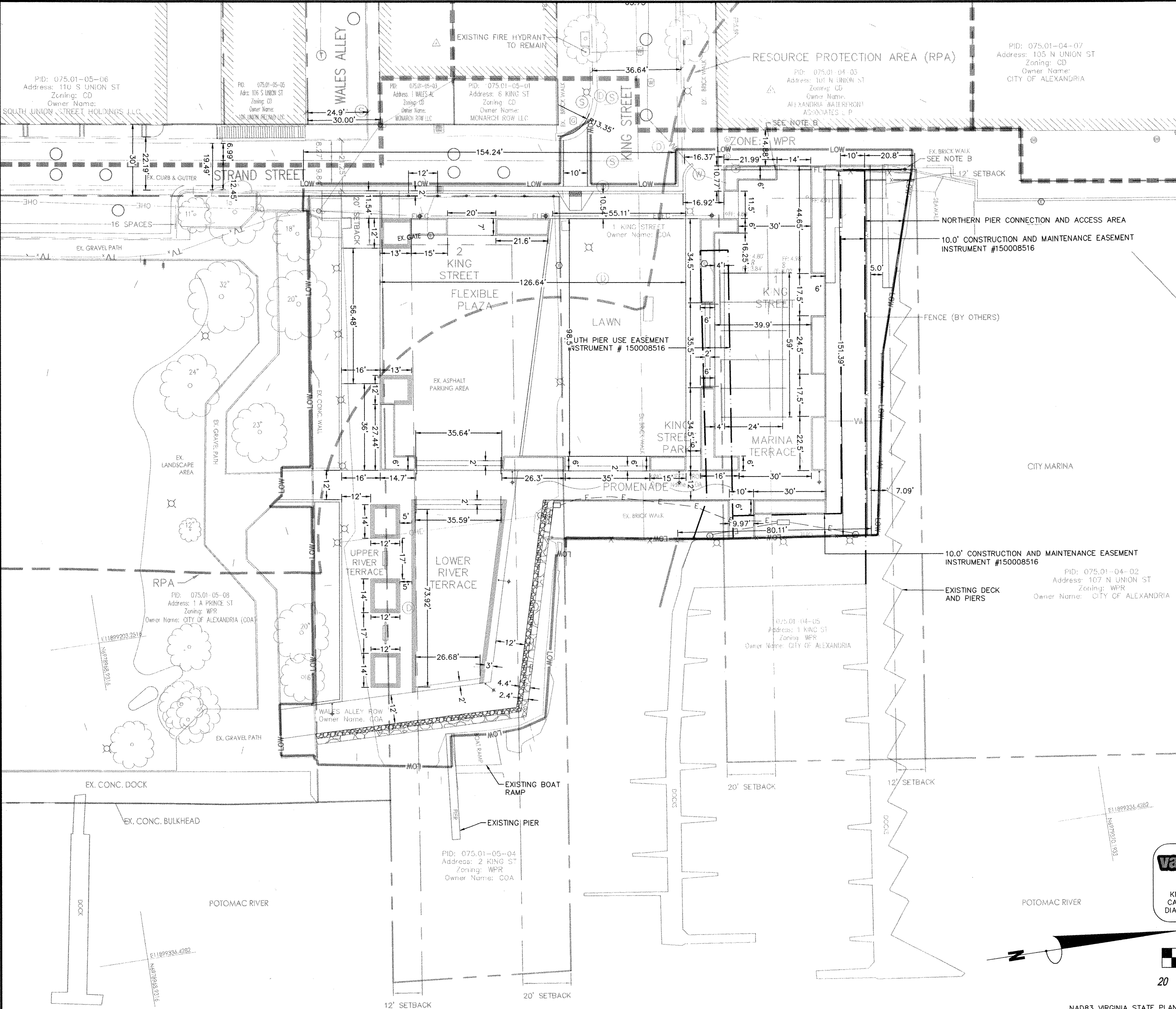
5 BEAM SPLICE DETAIL  
S-501 3/4" = 1'-0"



<b>APPROVED</b>	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. DSP#2016-00035	
DIRECTOR _____	DATE 3/5/2018
CHAIRMAN, PLANNING COMMISSION _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

0 0'-8" 1'-4" 2'-8"  
SCALE: 3/4" = 1'-0"  
0 0'-4" 0'-8" 1'-4"  
SCALE: 1 1/2" = 1'-0"





LEGEND

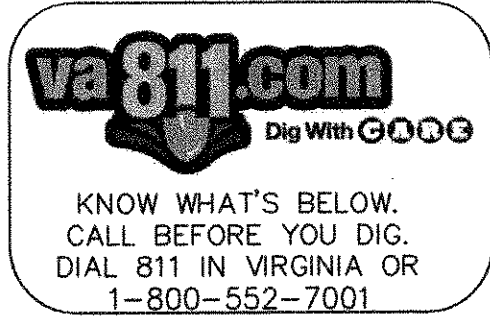
- PROPOSED LIGHTING - SINGLE HEAD (NOTE F) (OPTION 1 - PROMENADE LIGHTING)
- PROPOSED CITY STANDARD STREETLIGHTS HISTORIC ALEXANDRIA STREET LIGHT LED FIXTURE (BY OTHERS - SEPARATE CONTRACT)
- LIMIT OF WORK
- PROPOSED ELECTRIC LINE (SEE NOTE F)
- PROPOSED ELECTRIC JUNCTION BOX (SEE NOTE F)
- PROPOSED BIKE RACK
- PROPOSED FIRE LINE (SEE NOTE B)
- PROPOSED FIRE LINE STAND PIPE (SEE NOTE B)
- PROPOSED WATER LINE CONNECTION TO ODBC MARINA PIERS (BY OTHERS - SEPARATE CONTRACT, SEE NOTE E)
- PROPOSED SWINGING BENCH
- PROPOSED 2 PLUG WATERPROOF GFCI



CITY OF ALEXANDRIA, VIRGINIA  
DEPARTMENT OF PROJECT IMPLEMENTATION  
301 KING STREET  
ALEXANDRIA, VIRGINIA 22313

REVISIONS	
DATE	DESCRIPTION

DIMENSION PLAN	



APPROVED  
SPECIAL USE PERMIT NO. \_\_\_\_\_  
DEPARTMENT OF PLANNING & ZONING  
D.H. G... 2-23-18  
DIRECTOR DATE  
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES  
SITE PLAN NO. DSP#2016-00035  
3/5/2018  
DIRECTOR DATE  
Chairman, Planning Commission 2-27-18  
DATE  
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

INTERIM FITZGERALD SQUARE - DSP# 2016-00035

SHEET  
0 OF 0  
SCALE 1" = 20'